

PARISH Glapwell Parish

APPLICATION Reserved Matters Application for the erection of 49 dwellings (Appearance, Landscaping, Layout and Scale) in association with outline permission 19/00583/OUT

LOCATION Land Off Blacksmiths Close And Park Avenue To The Rear Of 7 - 53 Mansfield Road Glapwell

APPLICANT Mr Andy Beattie 2 Maria House 3 Fox Valley Way Stocksbridge Sheffield S36 2AA

APPLICATION NO. 23/00086/REM **FILE NO.** PP-11936190

CASE OFFICER Kay Gregory

DATE RECEIVED 20th February 2023

SUMMARY

This is an application for the Approval of Reserved Matters for 49 dwellings made by Forge New Homes which is recommended for conditional approval. The application is referred to the Planning Committee for determination, in accordance with the scheme of delegation contained within the District Council constitution, due to the number of representations from individual households which have been received and as the original Outline was a planning committee overturn of the officer's recommendation of refusal.

The current reserved matters application was originally submitted by Meadowview Homes in February 2023 for 50 dwellings. Meadowview Homes are the developer of the adjacent site at the former Glapwell Nurseries, which is close to completion. Forge New Homes acquired the site from Meadowview Homes, and submitted a new application form, plans and documents from the 30 June 2025. This application has therefore been determined in accordance with the plans and documents received after the 30 June 2025 by the new applicant, Forge New Homes.

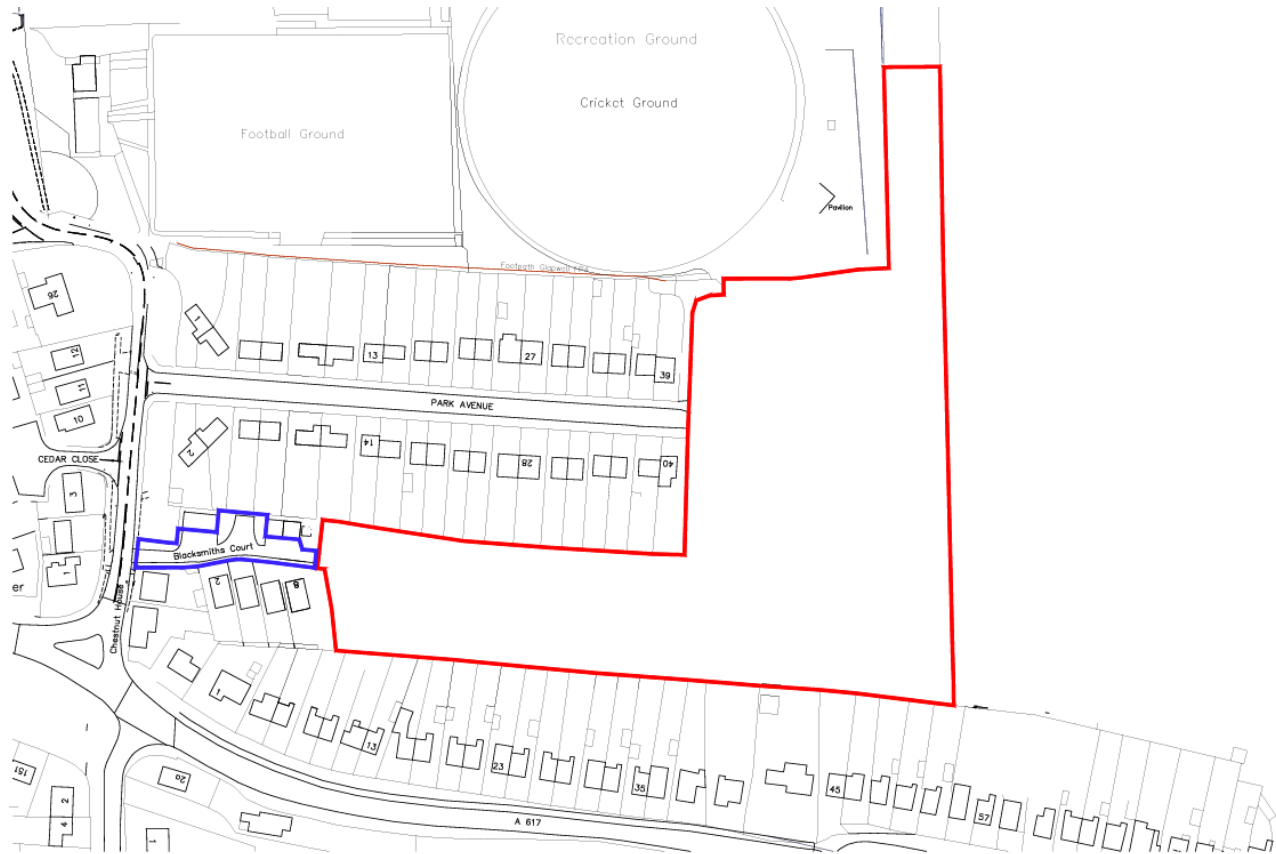
The principle of development for up to 62 dwellings on this site, with the vehicular access from Park Avenue, has been established through outline planning permission 19/00583/OUT, conditionally approved on 02/04/2020.

The primary planning considerations for the reserved matters application are the appearance, landscaping, layout and scale of the development 'the reserved matters'.

It is also necessary to ensure the terms of any relevant conditions attached to the outline consent are met through the reserved matters. Regards must be had to other planning material considerations relating to impacts on visual amenity, residential amenity, highway and public safety, rights of way, drainage, ecology and landscape features.

The Outline application was subject to a Section 106 Agreement, requiring obligations to be met during construction, which remain relevant to this proposal.

Site Location Plan



A	Alignment rewording added in blue	BMS	05.02.21
REV	DESCRIPTION	BY	DATE

STEN
ARCHITECTURE

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Hartwood Street
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Twitter: @STEN_arch
Facebook: stenarchitecture
LinkedIn: Sten Architecture

CLIENT: Forge New Homes

NO: Park Avenue
Glapwell

TITLE: Location Plan				
SCALE AT AS	DATE	DRAWN	CHECKED	
1:1250	03.06.21	BMS	-	
PROJECT NO:	REVISED NO:	REVISION:		
2520	2520.02	A		

OFFICER REPORT ON APPLICATION NO.

SITE & SURROUNDINGS

The application site is within the countryside, and comprises undeveloped agricultural land located outside the settlement development boundary of Glapwell defined under policy SC1 of the Adopted Local Plan, and which has a site area of 19,900m². The northern most boundary of the application site adjoins the boundary of Glapwell Cricket Club and connects to the approved Meadowview Homes housing development site of 64 dwellings, which is close to completion (21/00273/REM). The eastern boundary of the application site adjoins further agricultural land. The southern boundary of the site adjoins the rear gardens of dwellings that front Mansfield Road. The western boundaries of the site adjoin residential properties on Park Avenue and Blacksmiths Close. The site's boundaries consist of hedgerows, trees and fencing that adjoins garden boundaries. A Public Right of Way (no. 4 'Glapwell') runs east/west across the northern part of the site. There is also an informal link from the site onto Blacksmiths Close, which is used by dog walkers.

BACKGROUND

In October 2019 Glapwell Nurseries submitted an outline planning application for the development of up to 62 dwellings on the site under application code ref. 19/00583/OUT. Officers recommended refusal of the application as it was considered contrary to the Council's saved and emerging policies at the time which restricted housing development in the countryside, and development within Important Open Breaks. However, Planning Committee resolved to conditionally approve the outline application, and the approval notice was issued on 2nd April 2020. This was also subject to a S106 Planning Obligation that secured the provision of the following: -

- Affordable Housing (10%).
- Public Art.
- Children's Play Facilities, either on site, or if not provide a contribution for its provision off-site.
- Education contribution.
- Offsite Sports Facilities Contribution.
- Minimum 0.25 hectares per dwelling of Public Open Space with any reserved matters application.
- Public Open Space Contribution.
- Travel Plan (with monitoring contribution)

The Reserved Matters was submitted on the 20 February 2023 by Planning Design Group, on behalf of the applicant, Meadowview Homes. Necessary consultations were sent out and letters to residences adjoining the application site and along Park Avenue, from which the site access is proposed. 31 representations were received in response to the originally submitted details and these will be summarised briefly in the relevant section below.

In June 2025 the site was acquired from Meadowview Homes and a revised application form was submitted on the 30 June 2025, with plans and documents submitted shortly after. The revised application was submitted by Planning Design Group on behalf of the new applicant, Forge New Homes. The original consultees were provided with the statutory 21 days for comments to be submitted, and all residents originally consulted, and any additional residents

who had previously objected were given a 21 day period for comments to be made on the revised proposal. A revised site notice and press notice were posted.

The application site is adjoined by the almost completed residential development by Meadowview Homes at the former Glapwell Nurseries site, in the northeastern corner where the two areas of public open space connect, but other than that the applications have been considered separately.

PROPOSAL

This is a Reserved Matters application, seeking approval for appearance, landscaping, layout and scale, following a grant of Outline approval (19/00583/OUT) for 49 dwellings at land off Park Avenue and to the rear of 7 – 53 Mansfield Road, Glapwell.

The latest planning layout, received on the 24 June 2026 is provided below:



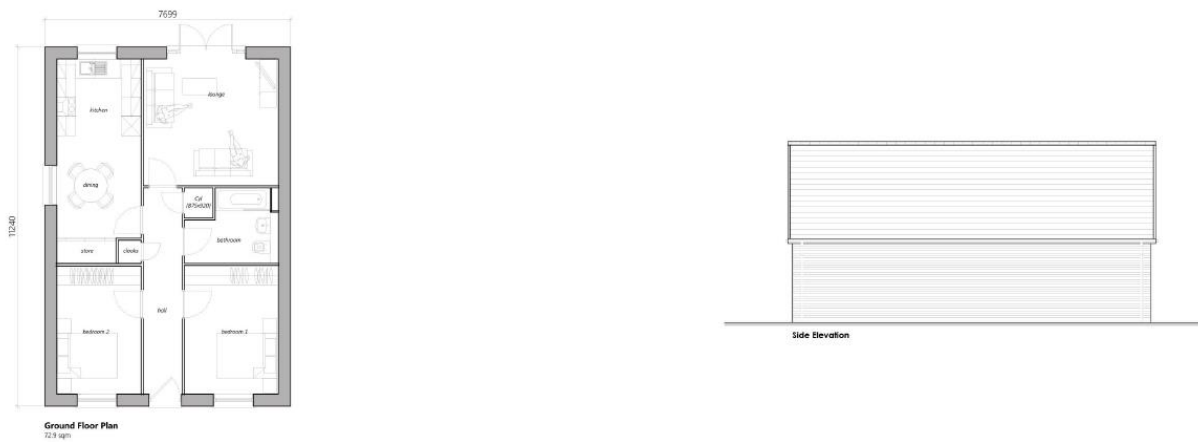
The proposal provides a total of 49 dwellings, including 5 units for affordable housing which are sited together in a terrace row to the southwest of the site. The 5th affordable unit is a semi-detached property attached to a market unit. The affordable housing units comprise 3 x 2-bed and 2 x 3-bed (10.2%).

For the market dwellings, there will be 10x2-bed units (22.7%), 22 x 3-bed units (50%) and 12 x 4-bed units (27.3%).

Type 1229
 4 Bed 6/7 Person Detached 114.2 sqm / 1229 sqft (NDSS GIA compliant)



Type 802 Brick
 2 Bed 4 Person 72.9 sqm / 785 sqft



Type BU1 Stone
 2 Bed 3 Person 61.0 sqm / 657 sqft



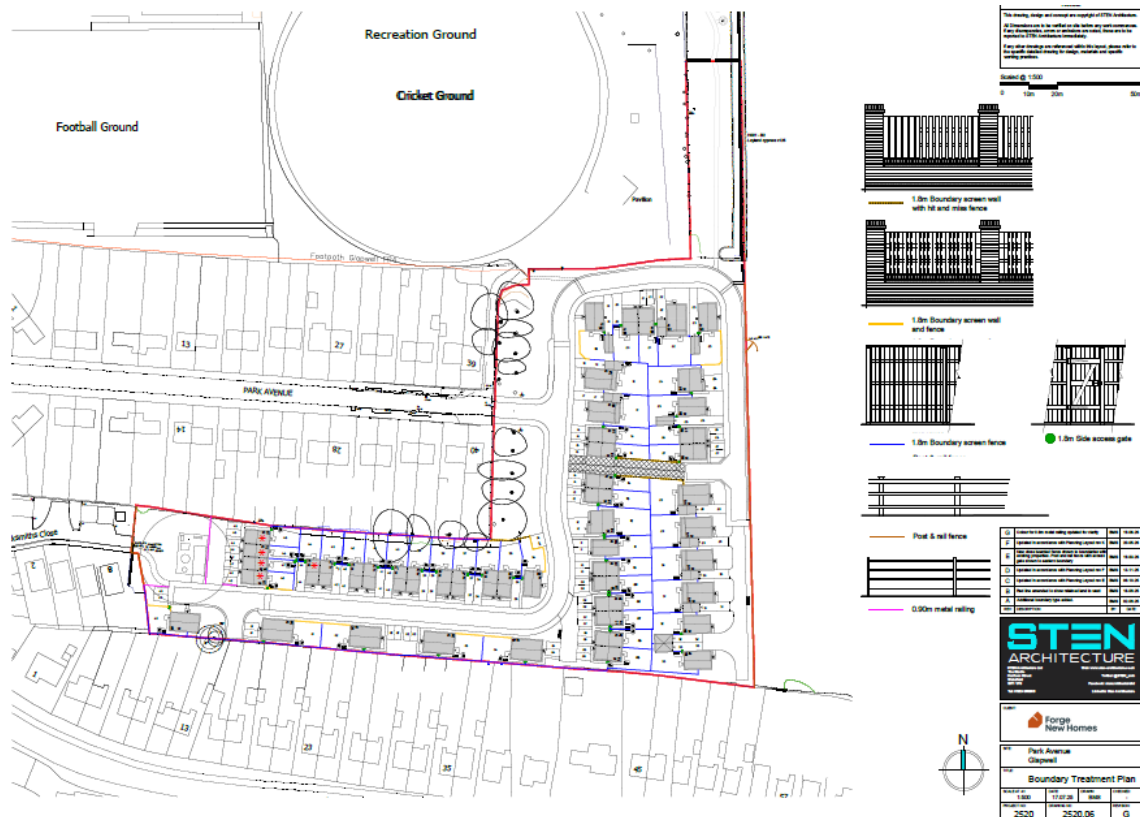
Type 1116 Brick
 3 Bed 6 Person Detached 103.7 sqm / 1116 sqft



Type 1156 Brick
 4 Bed 6/8 Person Detached 107.4 sqm / 1156 sqft



The development will be provided with a mix of boundary treatments, as shown on the plan below received on the 24 June 2026.



The development will be provided with one vehicular access, off Park Avenue, which will require highway improvements outside of the application site boundary (to be discussed in the relevant section below). In terms of pedestrian connectivity, there will be a footpath adjoining the Meadowview development at the northeast, through the open space. It is envisaged that a pedestrian access can be created from the site onto Blacksmiths Close, in accordance with the approved Outline, although there is currently uncertainty due to third party land ownership. The applicant has agreed to construct the pedestrian link up to the edge of Blacksmiths close, for future access. There is a drainage easement within the site which shall be utilised into a footpath, providing pedestrian connectivity between the east and west of the site. Connections will be discussed in greater depth within the Highways section below.

The development will be provided with three areas of publicly accessible open space. One to the northeast, adjoining the open space within the Meadowview development. There will be areas of open space on both sides of the access road utilising the area of land which contains the mature trees which are to be retained (apart from two trees to form the access). The third area of open space is to the southwest, around the pumping station, formed around the pedestrian link onto Blacksmiths. Open space provision will be discussed in the relevant sections below.

Supporting Documents

This application is supported by the following plans and documents:

- Drawing ref: 2520.01.L - Planning Layout; received 24 June 2026
- Drawing ref: 2520.03.F - Materials Layout; received 24 June 2026
- Drawing ref: 2520.06.G - Boundary Treatment Plan; received 24 June 2026
- BNG Metric V03 dated 23 June 2026; received 24 June 2026
- BNG Letter; received 24 June 2026
- CEMP Biodiversity Addendum; received 24 June 2026
- Cricket Ball Strike Assessment – Labosport (LSUK.26-0513_CBA) received 23 June 2026
- Foundation Zoning Plan – Eastwood Consulting – 49296-ECE-XX-XX-DR-C-008 P03 received 23 June 2026
- Boundary Treatment Plan – 2520.06 Rev G; received 19 Jun 2026
- Revised bungalow elevations and Floor Plan – 2520.BU1.01.Rev A; received 19 June 2026
- Soft Landscaping Plan Sheet 1 of 3 - DR L 4503 P04 received 19 June 2026
- Soft Landscaping Plan Sheet 2 of 3 - DR L 4502 P04 received 19 June 2026
- Soft Landscaping Plan Sheet 3 of 3 - DR L 4501 P03 received 19 June 2026
- Soft Landscape schedule - SHF9048001-ENZ-L-SC-045-001 Rev P04; received 19 June 2026
- Vehicle Tracking Layout (Refuse Vehicle) - ECE-XX-XX-DR-C-ATR2-P01; received 8 June 2026
- Addendum to Land OA Park Avenue, Glapwell Reserved Matters Number 24 – Construction Environmental Management Plan (CEMP: Biodiversity); received 4 June 2026
- Drainage Strategy – ECE-XX-XX-DR-C-0001-P06; received 2 June 2026
- Proposed site access arrangements – ECE-XX-XX-DR-C-0137-P01; received 2 June 2026
- Levels Strategy – ECE-XX-XX-DR-005-P04; received 2 June 2026

- Street Scenes – 2520.04.A Rev A; received 2 June 2026
- Addendum to Arboricultural Assessment (Enzygo Environmental Consultants) - SHF.9048.001.ENZ.XX.00.RP.AR.45.101; received 2 June 2026
- Dust Management Plan; received 2 June 2026
- Biodiversity Net Gain Assessment letter (553417ab29May26FV02_BNGA_Letter) received 2 June 2026
- Design and Access Statement Rev PL03 received 2 June 2026
- BNG Metric excel received 2 June 2026
- 2520.01. Rev K Planning Layout (A) received 2 June 2026
- 2520.03.Rev F Materials Layout received 2 June 2026
- House type 1229 – 2520.1229.01 received 31 March 2026
- House type 1416.02 (stone) - 2520.1416.02 REV A received 31 March 2026
- House type 913.02 (stone) – 2520.913.02 Rev A received 31 March 2026
- HOUSE TYPE 986.02 SEMI DETACHED (STONE) - 2520.986.02 REV A received 31 March 2026
- HOUSE TYPE NT2.01 - 2520.NT2.01 received 31 March 2026
- Site location plan – 2520.02 Rev A received 4 March 2026
- Standard tree detail – DR L 0005 received 4 March 2026
- Landscape Management and Maintenance Plan – ENZYGO - SHF.9048.001.LA.R.002 received 23 February 2026
- ROAD & SEWER SECTIONS SHEET 1 OF 4 - 0101 REV P02 received 18 December 2025
- ROAD & SEWER SECTIONS SHEET 2 OF 4 - 0102 REV P02 received 18 December 2025
- ROAD & SEWER SECTIONS SHEET 3 OF 4 - 0103 REV P02 received 18 December 2025
- ROAD & SEWER SECTIONS SHEET 1 OF 4 - 0104 REV P02 received 18 December 2025
- Vehicle Tracking Layout ATR1 Rev PO4 received 18 December 2026
- Planning Drawings - Types 857 & 775 Stone – floor plans - 2520.857775.01 received 29 October 2025
- Planning Drawings – Types 857 and 775 Elevations - 2520.857775.02 received 29 October 2025
- Planning Drawings – Type BU1 Stone – Elevations and floor plans - 2520.BU1.01 received 29 October 2026
- Revised elevation and floor plans type 1057C (brick) detached - 2520.1057C.01
- Revised elevation and floor plans type 1057C (stone) detached – 2520.1057C.02
- Revised elevation and floor plans type 1116 (brick) detached – 2520.1116.01
- Revised elevation and floor plans type 1116 (stone) detached – 2520 1116.02
- Revised elevation and floor plans type 1194 (brick) detached – 2520 1194.01
- Revised elevation and floor plans type 1194 (stone) detached – 2520 1194.02
- Revised elevation and floor plans type 1416 (brick) detached – 2520 1416.01
- Revised elevation and floor plans type 775 (brick) – 2520 775.01
- Revised elevation and floor plans type 775 (stone) – 2520 775.02
- Revised elevation and floor plans type 802 (brick) 2520 802.01
- Revised elevation and floor plans type 802 (stone) 2520 802.02
- Revised elevation and floor plans type 857 (brick) – 2520.857.01

- Revised elevation and floor plans type 857 (stone) – 2520.857.02
- Revised elevation and floor plans type 913 (brick) – 2520.913.01
- Revised elevation and floor plans type 986 (brick) semi-detached – 2520.986.01
- Revised elevation and floor plans type 986 (stone) semi-detached – 2520.986.02
- Revised elevation and floor plans type 986 (brick) detached – 2520.986.03
- Elevations and floor plans single garage – 2520.G.01
- Elevations and floor plans twin garage – 2520.G.02 all received 24 July 2025.

AMENDMENTS

When the site was transferred to Forge New Homes in July 2025 a revised scheme of development was submitted, and there have been numerous updates to the proposal since, all of which are listed above, and which have been subject to consultation with residents and consultees.

EIA SCREENING OPINION

Outline application 19/00583/OUT was screened in accordance with the regulations. It was confirmed that the application is not Schedule 1 or Schedule 2 development as described in criteria 10b of Schedule 2 of The Town and Country Planning (Environmental Impact Assessment) Regulations 2017. Therefore, the proposal is not EIA development.

HISTORY

19/00583/OUT	Grant conditionally	Residential development for up to 62 dwellings with all matters reserved except for access
21/00458/DISCON	Approved	Discharge of condition 26 (ecology) of planning permission 19/00583/OUT
21/00075/DISCON	Approved	Discharge of Condition 23 (Written Scheme of Investigation for archaeological work and initial phase of evaluation trenching within the scheme) of planning application 19/00583/OUT

CONSULTATIONS

The consultation responses provided below are those received in respect of the development proposed by Forge New Homes, in accordance with details received after July 2025, up to present. Where consultees refer back to earlier comments provided in respect of the Meadowview scheme, these shall be provided in full:

BDC Engineers 1/8/25

- I have no further comments to add to my original comments on application 19/00583/OUT.

BDC Environmental Health 31/7/25

- I can confirm that I have no comments in regards the reserved matters application.

BDC Environmental Health were emailed to question the impact of the proposed pumping station on the amenity of neighbouring residents. Their response dated 7 August 2026 - *This*

is quite common. Pumping stations use submersible pumps – there is no noise in my experience (I've experience of them in numerous settings)

BDC Environmental Health 17/3/2026

- No comments.

BDC Environmental Health 12/6/26

- I can confirm that the Dust Management Plan, prepared by Forge Homes, is suitable for this development.

BDC Leisure 16/3/26

- I would make the following observations:
- The path within the open space appears to shown as “Buff self-binding gravel / Hoggin to PROW route”. I say ‘appears’ as this is quite similar in colour to ‘concrete block paving’ as shown on the General Arrangement Plan SHF9048001-ENZ-XX-XX-DR-L-0001 P04 (P05?).
- However, as the public open space in phase 2 connects to the public open space / play area in Glapwell phase 1 (Meadowview Homes, 21/00273/REM), the path should be tarmac to match the tarmac path in phase 1. This was agreed by Tristan Mosley of Meadowview Homes in an email dated 20 December 2021.
- The path links that form part of Glapwell Footpath 4 as it passes through the proposed development is shown as ‘Reinforced grass grid or similar’, again this should be tarmac
- The path link to Blacksmiths Close is shown as ‘Reinforced grass grid or similar’ and appears to be a similar width to the adjacent pavements. Again, this should be tarmac and wide enough for pedestrians and cyclists to use this as a link to Bolsover Road / Mansfield Road / Rowthorne Lane
- I refer to my previous comments of 23 February 2023, which are similar to those above (extract below):
- “Other (please specify)
- Public Right of Way – I note that Glapwell FP4 passes through the development site and that the definitive line of the path does not align with the proposed footpath link between phase 1 and 2.
- Proposed footpath link – I note that it is proposed to construct the footpath link with a compressed Bredon Gravel surface and timber edging. This is not an acceptable solution as it is prone to erosion and weed growth. All paths should be designed with a minimum 15 to 20 year life span and, as such, should be surfaced in tarmac with PCC edgings.
- Proposed Pedestrian and Cycle Link to Blacksmiths Court – Ideally this should be a minimum of 2.5m wide, particularly if staggered barriers are installed (although these aren’t essential as cyclists would be travelling slowly at this point anyway) to allow sufficient space to pass around the barriers”.
- The commuted sums within the s106 agreement dated 25 March 2020 under application number 19/00583/OUT were based on a development of 62 dwellings, whereas the current application is for 49 dwellings, so this will be a slight reduction in the final commuted sum payment.
- The signed s106 agreement includes the provision of Children’s Play Facilities, viz: “at least five pieces of children’s play equipment which shall include of:- i) suitable safety

surfacing; ii) fencing, iii) two gates, iv) a bench and v) a bin which may be provided on the Public Open Space in accordance with the approved Public Open Space Scheme.

- The s106 agreement also includes (in schedule 2) the statement that “in the event that the Public Open Space does not include the provision of the Children’s Play Facilities the Owner shall pay the Children’s Play Facilities Commuted Sum to the Council prior to the occupation of the 10th Dwelling such contribution to be applied solely towards the provision or improvement of children’s play facilities within the parish”.
- As the current proposal for the public open space does not include the provision of Children’s Play Facilities (these are included in the phase 1 open space), we would look to revert to the agreement for the Owner to pay the Children’s Play Facilities Commuted Sum, which is defined as “the sum of Eight Hundred and Thirty Six Pounds (£836) per Dwelling approved by any Reserved Matters Approval towards the provision or improvement of children’s play facilities within the parish”.
- The 2025 commuted sum payment for informal open space / play would be £1,156 per dwelling (to be inflated to 2026), so for 49 dwellings this would be £56,644 (compared with £51,832 for 62 dwellings in 2021, although this would be subject to inflation).

BDC Leisure 24/6/26

- It appears that they have addressed my previous concerns, which related mainly to path surfacing. I see that the link paths are now tarmac rather than grass mat or whatever was proposed previously.
- I would agree that the treatment of FP4 is poor and the route needs to be clear through the development. A gate on the eastern boundary is definitely needed (a timber gate would be suitable). I also note that the eastern boundary is proposed as native hedgerow – does this need to be reinforced with a post and rail fence, assuming that the hedgerow will be newly established?
- Otherwise, I don’t have any other issues with the proposal.

BDC Urban Design 13/8/26

- Having looked through the amended layout plan 2520.01 Rev A and associated drawings, the scheme is much improved from earlier versions, however there are a few issues that have still not been addressed as previously discussed.
- Notwithstanding the comments of the Crime Prevention officer (CPO), I consider the footpath connection to Blacksmiths Close is desirable to aid walkability, whilst the retained area of public open spaces will retain a degree of greenery and amenity to residents within Blacksmiths Close and provide a meeting point between the older and newer housing. This green area will need to be subject of a landscape scheme with some seating and a formal walkway across with paved surfacing and lamp lighting scheme to give the appearance of a small pocket park. The pump station will need to be properly camouflaged from the green space to ensure that it does not dominate and lead to an unattractive area. Details of fencing and materials are required.
- I agree with the CPO that overlooking the small open space between Blackwell Close and this proposed development could be further improved by either reorientating Plots 47/48 or changing plot 48 to a dual aspect corner turning unit to better supervised the pathway across the space. Plot 48 has one small window on side looking over public open space. The house type 735AS doesn’t really provide the sense of overlooking that would be required in this location. The space needs to be properly overlooked, and the elevation of the houses needs to characterise the space.

- There are few proposed trees visible in the street towards Blackwell Close – I suggest trees are planted in the verge of each boundary hedgerow between 01/02 and 03/04. A recess in the wall can provide space for a tree pit without taking away from the garden and will visually break up the wall frontage within the street. This could provide more interest in the streetscape.
- The footpath link from plots 14/15 to Plots 14/28 is widened and therefore more friendly and useable. However, the boundary wall and fence along would be better if reduced in height to low 1.8m wall with hit and miss fence, rather than the same as those in the public realm on the streets. I also think the houses should have meaningful overlooking at the gateways with more substantial windows or turn around houses. I agree with the CPO that the part of this drainage easement appears to fall within the gardens of plots 14 and 15, and it would improve walkway if the link were to reflect the width of the easement. I would favour a hedge with railings rather than a wall which would retain a sense of openness, rather than a wall which encloses the walkway.
- Looking at other key plots, House type 1416 at plot 23 has an untreated side elevation and should also be dual aspect. A feature windows to the side of plot 34 might be wider for a better outlook.
- In general, I would expect to see more tree planting in the scheme, including occasional tree planting in the native hedgerow on the countryside hedge.
- Materials Plan. I am generally happy with the balance of materials. The only suggestion would be that parking areas at Plot 34 and 38 be made into block paving, as this would be more aesthetically pleasing next to the green areas adjoining them.
- The use of stone pitched-faced facades at the termination of vistas would be help strengthen the character of the scheme at Plots 07/07 and Plot 17. Fence boundaries at Plots 34 and 48 need to carefully relate to the adjoining green space and not be blank close boarded fences.
- In Conclusion. The scheme has improved and I can support the amendments subject to minor changes in line with previous meetings and discussions.

BDC Urban Design 27/3/2026

- I refer to planning Layout 2520.01 Rev E, submitted October 2025, and the subsequent Landscape General Arrangement Plan L0001 Rev P04, submitted March 2026, detailed landscape plans and management plan.
- The key issues are:
- The green area between Blacksmiths Close and the new development shows a new location for the pumping station and surrounding buffer planting. The houses face this opens space to allow for overlooking. The proposed footpath is shown as tarmac on the Planning Layout, and as reinforced grass on the Landscape General Arrangement Plan. The annotation indicates that this connection has not been approved with the landowner. It required to be a permanent walkable surface and to be aligned more attractively.
- There are few proposed trees visible in the street towards Blackwell Close – I suggested trees are planted in the verge of each boundary hedgerow between 01/02 and 03/04. A recess in the boundary dividing the plots can provide space for a tree pit without taking away from the garden and will visually break up the frontage within the street. This could provide more interest in the streetscape. An additional tree could be achieved at the rear corner of Plot 48 that would be visible from the street.
- Street trees in general would require protecting from removal and the applicant will

need to demonstrate in a management agreement/plan that residents must maintain the trees.

- There is a substantial Oak tree to the rear of existing house number 12 on Mansfield Road, which looks to be close to the proposed residence at Plot 49. An assessment on the impact on the root protection zone is required here, to determine the impact in the tree and whether a root protection or root barrier would be sufficient.
- The planting Plans indicate a line of proposed trees to be planted in a linear arrangement, to signal a transition from the natural area to formal street. These are too close to the existing mature trees and will lead to overshadowing completely of any meadow grasses here. It would be better to remove this line of trees. Whether this affects the biodiversity matrix will need to be accounted for.
- Looking at key plots, House type 1229 at plots 19 & 23 have been substituted but I cannot find the house type elevational drawing to ensure they are dual aspect.
- In conclusion, the scheme has improved and I can support the amendments subject to minor changes in line with previous meetings and discussions.

DCC Highways 29/4/2026

- It is noted that the application is for reserved matters including appearance, landscaping, layout and scale following outline consent.
- There are a number of items relating to the layout indicated on plan reference entitled General Arrangement Plan DR L 0001 P04 which require revision or further information. These are listed as follows:
- It is assumed that the internal estate roads are to be offered for adoption as publicly maintainable highway - it would be beneficial for confirmation
- The first junction within the site is required to be laid out as a 'pedestrian priority' junction to provide a pedestrian crossing point across the junction
- A pedestrian crossing point is required at the point where the footpath to the north of the site meets the carriageway/margin
- The margins adjacent to the main carriageways, where no footways are to be provided, scale as some 600/700mm in width. Any margins are required to be a minimum of 1 metre in width
- Is the footway link between plots 14/15 and 27/28 to be included in any S38 road adoption agreement?
- All landscaping/hedge boundary treatments fronting individual plots is required to be no greater than 600 mm in height to maintain visibility from individual private accesses. This is likely to influence the type or species of hedge boundary treatment used.
- It is not evident that any swept path analysis has been submitted to evidence the ability of refuse collection vehicles to manoeuvre through the site and to turn within the turning heads indicated on the layout plan. This information will be required in any S38 road adoption submission and it is considered beneficial for this information to be submitted at this stage to avoid the requirement for revisions to the layout at a later stage or to avoid the potential for the estate roads to be refused for adoption by the LHA.

DCC Highways 19/6/26

- No objections
- Further to previous comments and having viewed the submitted additional details, it is now considered that there are LHA objections to the reserved matters details as

applied for. Conclusion Based on the analysis of the information submitted and a review of Local and National policy the Highway Authority concludes that there would not be an unacceptable impact on Highway Safety or a severe impact on congestion.

- There are no justifiable grounds on which an objection could be maintained.
- Recommend conditions that development shall not be occupied until the access, parking and turning facilities have been provided as shown, and the access is provided prior to occupation.
- Also require submission of a construction management plan which shall be adhered to throughout the demolition/construction period.
- Recommend number of informatives relating to Works on the Public Highway, entering into a S278 and S38 Agreement, street trees, public right of way diversion

DCC Lead Local Flood Authority 11/9/2026

- As per our response dated 29/03/2023, the LLFA has no comment to make as surface water related conditions were recommended at the outline application. It appears that the relevant surface water conditions can be discharged within the proposed layout of the reserved matters application.
- In order to discharge the relevant surface water conditions, the applicant will have to carry out thorough infiltration testing across the site to ensure that infiltration will be a viable outfall for surface water and that soakaways are sized appropriately.
- In addition, the applicant will have to demonstrate how the on-site surface water drainage systems shall be maintained and managed after completion and for the lifetime of the development to ensure the features remain functional, in particular soakaways that are within private land or shared, including access and responsibility.

DCC Lead Local Flood Authority 18/6/26

- The LLFA has some concerns about the revised version of the Drainage Strategy (DR-C-0001-P06). It indicates that
- some soakaways will serve more than once property. Who will maintain these? We are particularly concerned about the shared soakaway serving plots 20 and 21 which is across 2 private gardens.
- In addition the applicant should ensure that there is sufficient access to the soakaways for maintenance purposes and that none are within 5m of any adoptable highway.
- The foul pumping station would be a matter for the sewage provider.

Officer emailed regarding approval of conditions attached to Outline.

DCC Lead Local Flood Authority 18/6/26

- No infiltration test records have been submitted and we would expect those at discharge of conditions stage. Assuming the results show infiltration is viable (which initial testing at outline stage suggested) this may affect the sizing of soakaways, but not the above ground layout. Our conditions are 29, 30 & 31 and all remain applicable in full.
- Only one aspect of the information required in my email may affect the layout and so is applicable for the reserved matters application, which is regarding access for soakaway maintenance. All other aspects can be dealt with at discharge of conditions.
- Please could the applicant confirm that sufficient access is available for maintenance of soakaways in rear gardens, particularly regarding plots where there is only a narrow

path providing access from the front to the rear of the property.

DCC Lead Local Flood Authority 22/6/26

- The LLFA has no comment to make as surface water related conditions were recommended at the outline application. It appears that the relevant surface water conditions can be discharged within the revised proposed layout, as shown on drawing 2520.01-K, of the reserved matters application.
- In order to discharge the relevant surface water conditions, the applicant will have to
- submit records of infiltration testing across the site, according to the BRE365 method, to ensure that infiltration will be a viable outfall for surface water and that soakaways are sized appropriately. In addition, the applicant will have to demonstrate how the on-site surface water drainage systems shall be maintained and managed after completion and for the lifetime of the development to ensure the features remain functional, in particular soakaways that are within private land or shared, including access and responsibility. Note that soakaways should not be within 5m of an adoptable highway or any building.

DCC Planning policy 14/8/26

- I note that this Reserved Matters application relates to Outline application 19/00583/OUT, for which there is a relevant S106 Agreement relating to county infrastructure for education and sustainable travel. The County Council therefore does not have any comments with regards to developer contribution requests.
- Local Member Comments
- The local County Councillor, Councillor Sarah Reaney has been consulted for her views on the potential infrastructure requirements that may require contributions from developers.
- Councillor Reaney has commented as follows:
- *I understand that there was a developer who built houses recently off Park Avenue and struggled to sell those houses. I believe this new development was called Boundary Lane These houses because they could not be sold ended up being sold to Bolsover District Council for Social Housing . It is understandable that residents on Park Avenue are somewhat apprehensive regarding further housing development in the same area as this may yet again be placed eventually in Bolsover district Councils hands for social housing . With social housing this brings its worries of who may end up renting such housing!*
- *My second point is the impact on the A617. If yet another 48 dwellings are built, I would envisage a minimum of 48 extra cars (in a lot of cases some families tend to have more than one car) that will be using the Roads in the area. There will also be further traffic from deliveries. The impact on School places, Doctors Surgeries and infrastructure is also something that needs to be considered.*
- *My third point and quite important point is that we seem to be giving planning permissions for small developments as it does not seem to 'raise many eyebrows'. However my main point is that if you have 4 or 5 small developments close to one another, that get planning permissions, then this over time, looking at the bigger picture it has turned into something larger and more substantial through the 'back door' so to speak, that would probably not have been approved if the large plan was put forward in the beginning. Before you know it you end up with hundreds of houses, with hundreds of cars, wanting hundreds of school places and hundreds of Doctors appointments.*

- Officer Comments
- Adult Social Care and Health
- As this development is fewer than 100 dwellings and relates to general housing, ASCH are unable to provide specific feedback. However, we would appreciate the following general design principles being considered to comply with the NPPF's requirement for developments to 'create places that are safe, inclusive and accessible and which promote health and well-being, with high standards of amenity and flexibility for existing and future users.'
- Dwellings meet M4(2) standards to encourage independent living for all ability and mobility levels Good internal space standards, ceiling heights, natural light levels
- Stairways, walls and ceilings capable of accommodating stair lifts or hoists should these be required in future; large internal cupboards which could be converted for through floor lifts at a future date
- A mix of tenures and types: affordable accommodation is important to help ensure the stability of the domiciliary care market
- Having a proportion of dwellings built on one level (stacked or bungalow) and ensuring this type of provision is located near public transport routes and/or urban centres

Derbyshire Wildlife Trust 6/10/26

- Our previous letter dated 20th May 2024, queried the ongoing discrepancies
- between the submitted LBEMP (Condition 25) and the landscaping plans (Condition 26).
- We have reviewed the most recent plans (Sheets 1-3, Rev. P01). These reflect a different layout to that which our previous comments have been based on. The current layout is Revision A dated 16.07.25.
- The current landscaping specifies wildflower meadow EM34 mix in the north-east but with a high density of tree planting across the grassland. These include large trees including English oak, lime and Scots pine. We do not recommend dense tree planting in areas to be managed as wildflower meadow, due to the increased shade, leaf litter and difficulties in cutting / mowing. Several small fruit trees would be more appropriate to create an informal community orchard. Patches of native pictorial meadow mix are proposed within the wildflower grassland, which is atypical and seems unnecessary when a native meadow grassland is already proposed.
- A native hedgerow is proposed down the eastern boundary and parts of the southern boundary, which is welcomed. Wildflower meadow is also proposed in the western area of opens space, with tree planting at the edges.
- We understand that the document intended to discharge Condition 25 is still the Landscape and Biodiversity Enhancement Plan (Arc Ecology, March 2023). Prior to discharging Condition 25, this document should be updated to accurately reflect the current layout and landscape proposals.
- We understand that a biodiversity metric has been requested by the LPA for the site to demonstrate at least no net loss / small gain. The LEMP should therefore reference the approved metric and include suitable management specifications to achieve the desired BNG targets for all onsite habitats. Monitoring requirements should be added at suitable intervals to ensure habitats are establishing successfully. As the development is pre-mandatory 10% net gain, there is some flexibility at the discretion of the LPA regarding the number of monitoring intervals and the time period for these.
- Species enhancements, including bat and bird boxes and hedgehog gaps should be

added to the landscape plans. The opportunity should be taken to amend the box types to integral models to provide longevity. These are discreet and maintenance-free. Suitable types include the S-brick, Manthorpe swift brick, lbstock enclosed bat boxes and Schwegler bat tubes, or similar.

- Conditions 25 and 26 can be discharged when the submitted documents are cohesive and reflect the most recent proposals, as well as being sufficient to ensure the proposed onsite gains are delivered.

Derbyshire Wildlife Trust 16/4/2026

- Since our previous letter dated 6th October 2025, a resubmission has been made.
- We have reviewed the BNG Assessment Letter (Greengage, 4th February 2026), metric dated 19th January 2026 and the Landscape and Ecological Management Plan (Enzygo, February 2026). We understand that the BNG Assessment and LEMP are based on:
 - 'General Arrangement Plan' Revision P04 (Enzygo, 17th July 2025)
 - 'Soft Landscaping Plan' Sheets 1-3 Revision P02 (Enzygo, 31st July 2025)
 - 'Soft Landscaping Schedule'9 (Enzygo, 2025)
- We are concerned whether the amount of proposed tree planting is feasible in the narrow strips of POS, especially in the north-east given the existing boundary trees and the target of other neutral grassland in moderate condition. We previously advised against dense tree planting in areas to be managed as wildflower meadow, due to the increased shade, leaf litter and difficulties in cutting / mowing. We suggested that several small fruit trees would be more appropriate to create an informal community orchard. Any amendments to tree numbers will affect the BNG figures.
- We are pleased to see a good variety of native species and plant / seed mixes, however we would advise that Scot's pine should be swapped for a more appropriate broadleaved tree suitable for the local area, which is located on the magnesian limestone. In addition, locally beneficial hedgerow shrubs include Spindle *Euonymus europaeus*, Wild privet *Ligustrum vulgare* and Purging buckthorn *Rhamnus cathartica* and we query whether these could be added to the planting mix. I have provided a copy of the Habitat Creation Guidelines for Derbyshire with this response.
- The LEMP is referred to by two different names in the document. This should be addressed to avoid confusion. Given that Condition 25 requires submission of a Landscape and Biodiversity Enhancement and Management Plan (LBEMP), then we would expect this to be the title of the document.
- Given that a metric has been submitted, it should be referenced in the LEMP and the criteria listed for the target condition of each habitat. This will enable ease of monitoring.
- As the application was prior to mandatory 10% BNG, we are happy to accept a more relaxed monitoring schedule. However, we do advise that the site should be visited by an ecologist earlier than Year 10 to determine if the habitats are on track to achieve BNG targets. We would recommend that a review is added to Year 2 or 3 to enable early remedial measures if the grassland is not establishing well, for example.
- Gains of +1.37 hedgerow units (73.36%) have been calculated but a net loss of 3.43 habitat units (-42.59%) is predicted. These figures may alter slightly if the tree planting is reduced in the main grassland areas.
- Even though the outline application was submitted prior to 10% BNG being mandated, a gain must be delivered for each unit type in line with BNG guidelines.

- The current scheme is therefore not compliant with the NPPF or local policy and offsite units should be purchased to avoid a net loss being delivered by the scheme. We advise that the LPA requests confirmation details of how this will be addressed by the applicant. If units will be purchased from a Habitat Bank, then confirmation of purchase should be submitted to the LPA.

Derbyshire Wildlife Trust 23/6/26

- I see that Scot's pine has been removed from the species list and that fruit trees are predominantly specified in the north-east. There are still quite a few trees proposed, however I assume that the landscape architects and ecologists are satisfied that the target of other neutral grassland in moderate condition can be achieved. This will be monitored across the life of the management plan and remedial actions will be required if not.
- The suggested hedgerow shrubs beneficial to the local area (Spindle, Wild privet and Purging buckthorn) have not been incorporated. This was not essential but would have boosted onsite habitats for local invertebrates in particular.
- We would be happy to review the final BNG assessment and LBEMP, however we understand that the intention is to secure at least no net loss, in line with the NPPF, through the purchase of offsite units.

Force Designing Out Crime officer – 1/8/25

- The change of developer, architect and house types is noted, and I'm taking reference from the latest site plan 2520.01 rev A, the fourth revision of the scheme to date, and boundaries plan 2520.06.
- It's noted that the third revision of the site layout tabled around March 2024 wasn't referred for comment, although isn't significantly different from the second revision.
- The main problematic design feature raised previously of the footpath link through to Blacksmiths Close is still proposed, although now all detail has been removed and subject to landowner approval.
- I'll not go into the reasons as to why we would see the feature as undesirable again, as it's assumed that the authority see the link as necessary on balance, and the expected amenity problems which are likely for both existing and new house occupants are outweighed
- by the extra connectivity.
- I don't agree, and decision makers should be prepared to take responsibility for any problems which are generated by this link.
- On a matter of detail, the removal of the short section of private drive leading up to this footpath is sensible in respect of space hierarchy, and should provide an adopted lighting scheme closer to the link.
- The aspect could be further improved by changing plots 47/48 to a dual aspect corner turning unit to better supervised the pathway, and of course full detail of the finished footpath landscaping, keeping views open, planting/boundaries to prevent misuse, all of which I expect would be fleshed out by a suitably worded condition.
- Other impactful changes to the scheme are the removal of the plots previously adjacent to 40 Park Avenue, which weaken outlook at the site gateway and reduce passive supervision around this area.
- The removal of a defined footpath on the opposite side of the access road around plots 18-23, linking in to the connection pathway to POS and phase 1 weakens territoriality

for these plots, but is seen as acceptable in context.

- The former roadway connection between the two back to back housing runs on the eastern side of the site has been amended to a quite constrained footpath link over a drainage easement.
- Part of this easement is currently within the gardens of plots 14 and 15, and it would improve the aspect (width) of this footpath link if the wall/fence edge treatment here were dropped back to the edge of the easement line.
- Additionally, the side elevation of houses adjacent to the footpath are not well treated for outlook over this constrained movement route, nor are they given adequate definition from the public space.
- Plots 14, 15, 27 and 28 should be dual aspect, and the side edge hedge planting supplemented with an outer section of the 900mm metal rail.
- Looking at other key plots, another 1416 type at plot 23 has an untreated side elevation and should also be dual aspect.
- The feature windows to the side of plot 34 might be wider for a better outlook.
- The 802 type bungalows at plots 1-4 would have their dining/kitchen area window tight up to their rear garden boundary if handing is kept as shown.
- Might the handing for all four be switched to move this window to the outer edge for an improved outlook and street-scene?

Force Designing Out Crime officer 12/3/2026

- Thank you for sending notification of amended details for this application.
- Taking reference from site plan rev E and boundaries plan rev C, it's noted that amendments connected to our previous comments made on the 1st of August last year are limited to the realignment of plots 45-48 to face the Blacksmiths Close footpath connection, and the widening of the footpath link between plots 15/15 and 27/28, nothing further.
- The former mentioned link now takes a dog-leg route, limiting linear views from either side, and the benefit of overlooking from plots 45-48 is substantially reduced by repositioning the pumping station directly between these house frontages and the link route.
- Consequently, we would view the latest revisions as a positive for the latter point, but a backward step for the former, which will still present community safety risks in context, which could be mitigated by a better layout and detailing.

Force Designing out Crime – 5/6/26

- Thank you for sending notification of amended detail for this application.
- The development scheme as presented is broadly similar to the previous revision, and in relation to our prior comments has not changed.
- Consequently we have nothing to add to prior comments.
- It's noted that full details of the pedestrian link to Blacksmiths Close are most likely to be left in abeyance for later determination.
- If this is the case, can we ask that the full design is subject to a condition of approval, with detail to be agreed prior to construction.

Ramblers 25/7/25

- Having perused the details provided we would offer no formal objection but would offer comment as follows.

- When the initial plans were considered it appeared that the short section of Glapwell FP 4 would be retained as a natural footpath. The details referring to the corresponding section of FP 4 in the reserved matters appears to indicate that the section will be replaced by a metaled section of roadside causeway. This is in contention with government guidance relating to public footpaths, i.e. footpaths should not be replaced with roads unless there is no alternative. In the case in question this is totally unnecessary. Simply shortening the gardens of house numbers 19 to 23 would have allowed the section of FP 4 in question to remain on its original alignment and nature.

Severn Trent Water – 29/7/25

- I can confirm that the above site is out of Severn Trent Water's area for sewerage.
- This response only relates to the public waste water network and does not include representation from other areas of
- Severn Trent Water, such as the provision of water supply or the protection of drinking water quality.

Yorkshire Water 20/8/25

- Yorkshire Water has no objection in principle to the drainage details submitted on drawing 49296-ECE-XX-XX-DR-C-0001 (revision P03) dated 27/07/2025 that has been prepared by Eastwood Consulting Engineers, namely: -
 - The proposed separate systems of drainage on site and off site
 - The proposed amount of domestic foul water to be discharged to the public foul sewer network pumped at 6 litres/second
 - The proposed point of discharge of foul water to the 225 mm diameter public foul sewer in Park Avenue
 - The proposed discharge of surface water to soakaway.
- The developer should also note that the site drainage details submitted have not been approved for the purposes of adoption or diversion. If the developer wishes to have the sewers included in a sewer adoption/diversion agreement with Yorkshire Water (under Sections 104 and 185 of the Water Industry Act 1991), they should contact our Developer Services Team (tel 0345 120 84 82, email: technical.sewerage@yorkshirewater.co.uk) at the earliest opportunity. Sewers intended for adoption and diversion should be designed and constructed in accordance with the WRc publication 'Sewers for Adoption - a design and construction guide for developers' 6th Edition, as supplemented by Yorkshire Water's requirements.

All consultation responses are available to view in full on the Council's website.

Parish Council response 14/8/26

- Glapwell Parish Council would:
- Agree with comments that social housing should not be concentrated in one place but distributed throughout the development. This leads to greater social integration and less “ghettoism on” of social housing.
- Propose abolition of bin storage areas with proper access provided for waste disposal lorries. Communal bin areas are often poorly maintained by residents since no single person has ownership and use “on day of collection only”, is unlikely to be maintained or enforced over me. Numbers 4 to 6 suffer from this proposal as well as numbers 29

to 32.

- Advocate that the 29 to 32 proposal for block paving should be removed and replaced by proper highway not only for waste disposal access, as above, but also to remove the need for a superfluous hammerhead between 27 and 28. In our view, this is only to facilitate additional applications into open countryside contrary to the BDC Local Plan.
- Raise serious concerns about the viability of access via Park Avenue for the numbers of cars from 48 dwellings, each of which has a minimum 2 parking spaces. Use of Park Avenue, already congested with parking by existing residents is unsuitable for use by a further 96 vehicles.
- Support the views of Highways over the adequacy of the service roads for the use of bin lorries.
- Strongly reflect the concerns of residents that the addition of 96 cars to the junction with Bolsover Road and then onto Mansfield Road would constitute overload at this junction. This already subject to considerable complaint from residents about the difficulty and anger on this junction during most of the day. The parish council has itself campaigned over many years for improvements to this junction and that in its current form it is a serious accident waiting to happen.
- Reflect the concerns of residents that the sewerage system proposed has some serious shortcomings and that present plans impinge on the property of existing residents in Blacksmith's Close. It would appear that the sewerage proposals are contentious in terms of efficiency and resilience which require further examination. The council is aware that sewerage provision from Glapwell down The Hill has proved inadequate in the past and the council has serious reservations about the extra load being placed on these already fragile services.
- Agree that the, as yet unaided, use of Blacksmith's Close as a cycle and footpath route into the development is likely to be problematical for encouraging ASB and that the provision of an unmonitored open space at this point is likely to exacerbate the concerns of the Safer Neighbourhoods team.
- Agree with the footpath officer that replacement of footpath 4 with metalled road is not acceptable. Suggestion for a grass footpath across the ends of gardens 19 - 23 is acceptable but not ideal.
- We are pleased to see that the proposal for gates at the entrance to the development on Park Avenue appears to have been removed. We would oppose any gated development in the community of Glapwell. A proposal we would hold abhorrent to the idea of our community.

PUBLICITY

The application has been publicised by way of a site and press notice. 31 representatives were received on the original proposal by Meadowview.

Residents objected mainly on the grounds that the development is too large for the village and is not supported by sufficient infrastructure, services or affordable housing. Concerns also focused on the loss of greenfield land and local character, harm to residential amenity through noise, dust, overlooking and loss of privacy, and the impact on existing residents' quality of life.

A further major issue identified was highway safety and access, particularly the ability of Park Avenue and surrounding roads to cope with additional traffic, parking pressure and pedestrian

movement. Strong objection is also raised to the proposed footpath/cycle link to Blacksmiths Close, which residents consider unsafe, intrusive and inappropriate for a private cul-de-sac. Additional concerns relate to pollution, drainage, biodiversity, consultation, legal issues surrounding access and the sale of Council owned land, and the wider perception that the scheme offers limited community benefit.

In July 2025, Forge New Homes acquired the site and submitted a new layout and revised documents to support the proposal. All residents originally notified, and those which made representation were consulted. Additional re-consultations were sent out during processing and at the time of drafting the report 22 representations have been received. The comments are summarised below.

Visual Amenity and Landscape

- The development will result in the loss of open green space and erosion of the rural/open character of the area.
- It will harm visual amenity for nearby residents, including loss of views across open land.
- The proposed layout results in over development, will be cramped, poorly integrated with the surrounding area, and lacking sufficient open space.
- Concerns have been raised that the site lies within an important open break/policy area and that development would undermine that designation and set a precedent.
- Objections have been raised relating to poor design quality, including the siting of bungalows along the southern boundary;
- Concerns that the road layout potentially facilitates future expansion into adjoining land.
- Unsustainable encroachment into rural landscape

Biodiversity

- Irreplaceable loss of wildlife habitat and ecological value associated with undeveloped green space.
- Loss of agricultural land not acceptable
- Concerns about impacts on birds, bats, pollinators, small mammals, and wildlife corridors.
- Objections to removal or potential felling of trees, including reference to ancient trees.
- Requests for updated wildlife and environmental reports due to changes on site since earlier assessments.
- Concerns that landscaping and green infrastructure proposals may not deliver sufficient biodiversity enhancement.
- Development will erase foraging corridors

Residential Amenity

- The development will result in a loss of privacy, overlooking, loss of light, and overbearing effects on existing neighbouring properties.
- Concerns about construction disturbance, noise, pollution, and the length of the build period.
- Objections to the proposed pumping station due to noise, odour, visual impact, and effect on enjoyment of gardens and outbuildings.

- Fears that the pumping station and associated stand-off zone could restrict future extensions or outbuildings on neighbouring land.
- Concerns about subsidence or structural impacts from excavations near existing garages and boundaries.
- Objections to the footpath connection onto Blacksmiths Close on safety and antisocial behaviour grounds, particularly because it is unlit.
- Concerns that affordable housing is grouped together rather than distributed throughout the site.
- Claims that the development may reduce neighbouring property values, though this is not a material planning consideration.
- Concerns over the position of bungalows next to boundaries of existing properties.

Highways

- Significant concerns about additional traffic on Park Avenue, Bolsover Road, Mansfield Road/The Hill, and the A617/four-way junction.
- Park Avenue described as narrow, with on-street parking on both sides, making access difficult and potentially unsafe.
- Concerns that local roads and junctions already experience congestion and cannot accommodate traffic from 48 dwellings.
- Objections regarding construction traffic using Park Avenue, with requests for this to be prohibited through a construction traffic management condition.
- Concerns about inadequate highway capacity, emergency vehicle access, and overspill parking on surrounding streets.
- Questions raised over whether the revised layout has been reassessed by highways officers.
- Suggestions that access should instead be taken through the adjacent garden centre estate or another existing route.
- Concerns that limited public transport means the development would be heavily reliant on private car use.
- Concerns raised over use of Blacksmiths Close, which is a private road

Drainage

- Concerns that additional hard surfacing will increase surface water runoff and worsen existing drainage problems.
- Requests for a detailed drainage strategy, including layout, levels, flood routing, overflow arrangements, attenuation, and runoff calculations.
- Objections to the proposed dual water and foul pumping station and its proximity to neighbouring properties.
- Questions about whether surface water needs to be pumped, whether alternative connections are available, and whether a watercourse may be used.
- Requests for clarification on foul sewer connections, invert levels, odour impacts, vent pipe location/height, and offline storage provision.
- Concerns about flood risk, blockage scenarios, emergency overflows, and whether acoustic barriers or bunding are required.

Other

- Concerns that local infrastructure and services, including schools, GP provision, shops, and other community facilities, are insufficient to support the development.
- Questions about the sustainability credentials of the proposed homes, including solar panels, materials, insulation, and heating systems.
- Queries about whether the permission remains valid given the passage of time and whether supporting documents are up to date.
- Request for clarification about an unidentified structure shown near 8 Blacksmiths Close on a revised layout plan.
- Suspicion that the scheme is intended to enable future phases of development beyond the current application site.
- Reference to long-standing community opposition and requests for these concerns to be given weight.
- Concerns over layout of affordable housing being grouped together, should be dispersed throughout the site
- Concerns that the principle of development is unacceptable. Doesn't comply with the policies in the local plan.

Officer response to resident comments

It is considered that the majority of concerns raised by residents have been addressed through consultee responses received following amended plans and documents to address concerns, and through the imposition of appropriately worded conditions.

Whilst the Council fully acknowledges concerns raised over the access and impact on the highway network, the proposals have been assessed in full consultation with the County Council in its capacity as the Local Highway Authority who have raised no objections subject to conditions.

Where objections relate to the principle of development, or are around discussions about allowing developments in the countryside or within an Important Open Break, it should be noted that the principle of development has already been established through the grant of outline planning permission. This was approved by Members at planning committee but was assessed in accordance with the previous Local Plan; although weight was given to the emerging policies of the 2020 Local Plan which was at examination stage.

Residents raised concerns over the original location of the pumping station, and where the 'exclusion zone' affected third party land, which would have prevented properties from exercising their permitted development rights. The pumping station was subsequently reduced in size and slightly relocated so that the exclusion zone was within the confines of the site boundary, although it does encroach onto the driveways of the affordable housing. The registered provider who acquires the plots will be informed of this. Residents also raised concerns over noise and fumes from the pump, but the responding environmental health officer confirmed that in their experience there would be no noise or fumes generated from the pumps as they are submersible.

PLANNING POLICY

Local Plan for Bolsover District (“the adopted Local Plan”)

Planning law requires that applications for planning permission be determined in accordance with policies in the adopted Local Plan, unless material considerations indicate otherwise. In this case, the most relevant Local Plan policies include:

- Objectives A, B, C, H, J
- SS1 - Sustainable Development
- SS2 - Scale of Development
- SS3 - Spatial Strategy and Distribution of Development
- SS9 - Development in the Countryside
- SS11 - Development in Important Open Breaks
- LC2 - Affordable Housing through Market Housing
- LC3 - Type and Mix of Housing
- SC1 - Development within the Development Envelope
- SC2 - Sustainable Design and Construction
- SC3 - High Quality Development
- SC5 - Change of use and conversions in the countryside
- SC7 – Flood Risk
- SC8 - Landscape Character
- SC9 - Biodiversity and Geodiversity
- SC10 - Trees, Woodland and Hedgerows
- SC11 - Environmental Quality (Amenity)
- SC14 – Contaminated and Unstable Land
- ITCR3 - Protection of Footpaths and Bridleways
- ITCR5 – Green Space and Play Provision
- ITCR10 - Supporting Sustainable Transport Patterns
- ITCR11 - Parking provision

National Planning Policy Framework (“the Framework”)

The National Planning Policy Framework sets out the Government’s planning policies for England and how these should be applied. The Framework is therefore a material consideration in the determination of this application and policies in the Framework most relevant to this application include:

- Chapter 2: - Achieving sustainable development.
- Paragraphs 7 - 10: Achieving sustainable development.
- Paragraphs 47 - 50: Determining applications.
- Paragraphs 55 - 56: Planning conditions.
- Paragraphs 96 - 107: Promoting healthy and safe communities.
- Paragraphs 108 - 117: Promoting sustainable transport.
- Paragraphs 123 - 127: Making effective use of land.
- Paragraphs 131 – 136: Achieving well-designed and beautiful places.
- Paragraph 157, 159 and 162: Meeting the challenge of climate change.
- Paragraph 165 - 175: Planning and Flood Risk.

- Paragraphs 180, 186 and 188: Conserving and enhancing the natural environment.
- Paragraphs 189 - 194: Ground conditions and pollution.

Supplementary Planning Documents

Successful Healthy Places: A Guide to Sustainable and Healthy Housing Layout and Design:

To provide a guide to those promoting developments on how they can create sustainable places that deliver a good quality of life for the people that live there and preventing poor design that comes at a cost to the environment. This requires that our neighbourhoods are designed around the linked concepts of good place making and sustainability.

Local Parking Standards:

This document relates to Policy ITCR11 of the Local Plan by advising how the parking standards contained in appendix 8.2 of the local plan should be designed and implemented with development proposals. This SPD does not revise the standards contained in the Local Plan but does provide suggested new standards for parking matters not set out in the Local Plan, such as cycle parking.

Biodiversity Net Gain Design Note:

In light of the requirement for mandatory 10% biodiversity net gain, the Council has prepared a planning advice note to provide advice on the background to the introduction of mandatory 10% Biodiversity Net Gain, how this statutory provision relates to policy SC9: Biodiversity and Geodiversity in the Local Plan for Bolsover District, and how we will expect those preparing applications to approach this new legal requirement.

ASSESSMENT

Having regard to the relevant provisions of the development plan, other material considerations and the comments received from consultees and contributors, the main issues for consideration in respect of this application are:

- the principle of the development and sustainability
- Visual amenity considerations
 - Design and appearance
 - Local character and context
 - The layout and impact on existing landscape features
- Residential amenity
- Provision of a safe and suitable access;
- Estate roads and parking
- Biodiversity
- Other material planning considerations
 - Environmental protection
 - Public safety
 - Drainage
 - Open space provision

These issues are addressed in turn in the following sections of this report

Principle of Development and Sustainability

The development lies outside the development envelope of Glapwell defined by policy SC1 of

the Adopted Local Plan and is therefore within the countryside as defined by policy SS9, which seeks to restrict housing development within the countryside unless it meets certain criteria. The site is also within an Important Open Break as defined by policy SS11 of the adopted Local Plan. Notwithstanding that, the principle of development for up to 62 dwellings on this site, with vehicular access from Park Avenue, has been deemed acceptable through the Outline Approval 19/00583/OUT.

The outline application has established that the site can accommodate up to 62 dwellings.

As such the concerns raised regarding the principle of the development and impacts on local amenities and services, such as doctor's surgeries and school places, are not a matter for consideration in respect of this application.

The primary purpose of this Reserved Matters application is to consider the appearance, landscaping, layout and scale of the proposed 49 dwellings in addition to all other planning considerations summarised above in this report. This includes information required by relevant conditions of the outline consent and the obligations of the Section 106 Agreement attached to the outline consent.

Design and Appearance

Policy SC3 of the Adopted Local Plan requires development proposals to achieve a high quality of design through place-making, buildings and landscaping. In particular, proposals should:

- create good quality, attractive, durable and connected places through well-designed, locally distinctive development that integrates into its setting; and
- respond positively to local context, identity and heritage, including height, scale, massing, density, layout and materials.

Paragraph 135 of the NPPF requires planning decisions to ensure that developments function well, add to the overall quality of the area, are visually attractive as a result of good architecture, layout and landscaping, and are sympathetic to local character and history, including the surrounding built environment and landscape setting.

Paragraph 139 of the NPPF states that development which is not well designed should be refused, particularly where it fails to reflect local design policies, government guidance on design, and any relevant local design guidance or supplementary planning documents.

Condition 3 of outline permission 19/00583/OUT requires the reserved matters application to demonstrate how the architectural character and distinctiveness of Glapwell has informed the design of the development. This includes layout, siting, massing, materials, boundary treatment, important buildings and views, and the interaction of the development with the public realm, including landscaping, views and connections.

Design response

The scheme will provide an appropriate mix of 2, 3 and 4-bedroom dwellings, predominantly two-storey, with 5 No bungalows, and will include a range of terraced, semi-detached and detached house types. This mix is considered acceptable in accordance with Policy LC3 of the Local Plan.

The proposed materials and house types will vary across the site, with reconstituted stone and brick elevations and red or grey roof tiles. This variation would help to provide visual interest while reflecting materials found in the surrounding area.

The outline permission did not approve a detailed layout but considered that a development of up to 62 dwellings would be acceptable in principle. The current reserved matters proposal has reduced the number of dwellings to 49. This lower-density layout is considered to represent an improvement, allowing the site to be used efficiently while creating a more successful relationship with neighbouring dwellings and the countryside edge to the east.

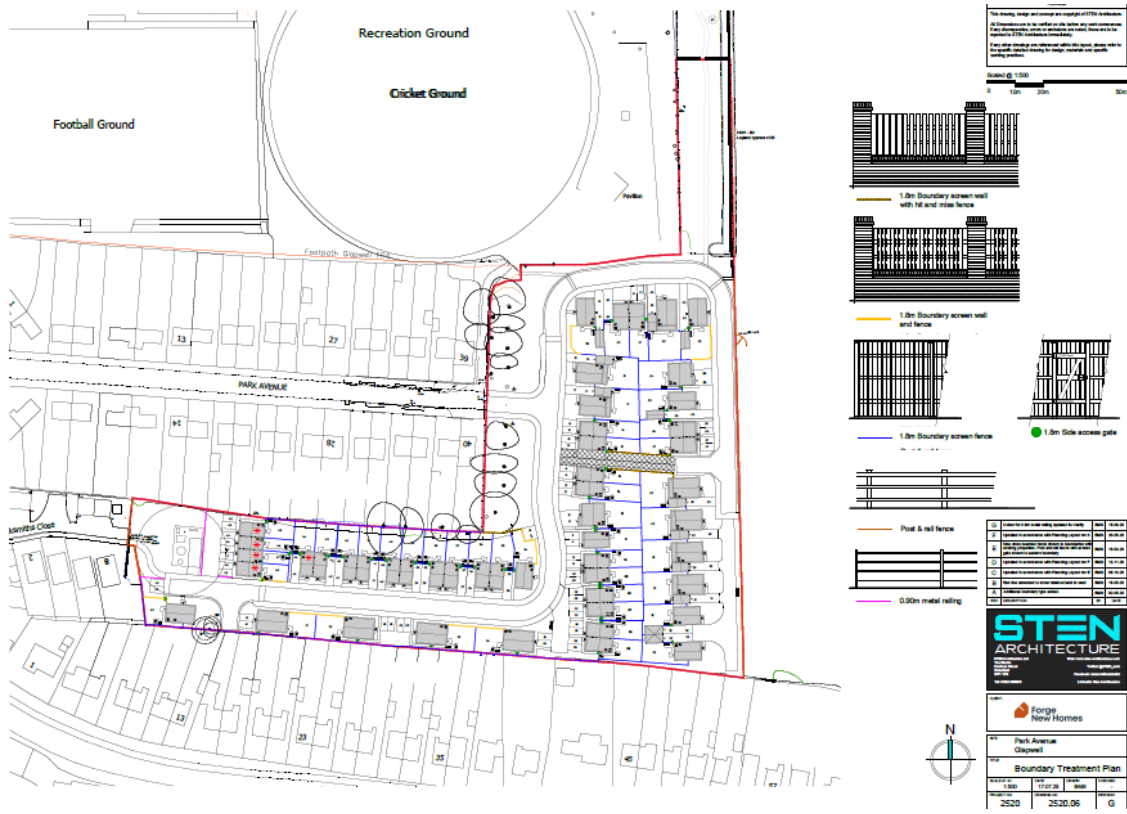
Along the eastern boundary, dwellings will face outwards towards the countryside, with side driveways helping to avoid a parking-dominated frontage. This arrangement will create a more positive and sympathetic edge to the development.

The plan below provides details of the proposed boundary treatments. Side/rear gardens will be bound by 1.8m high close board fencing, and a 1.8m fence will be erected along the southern boundary.

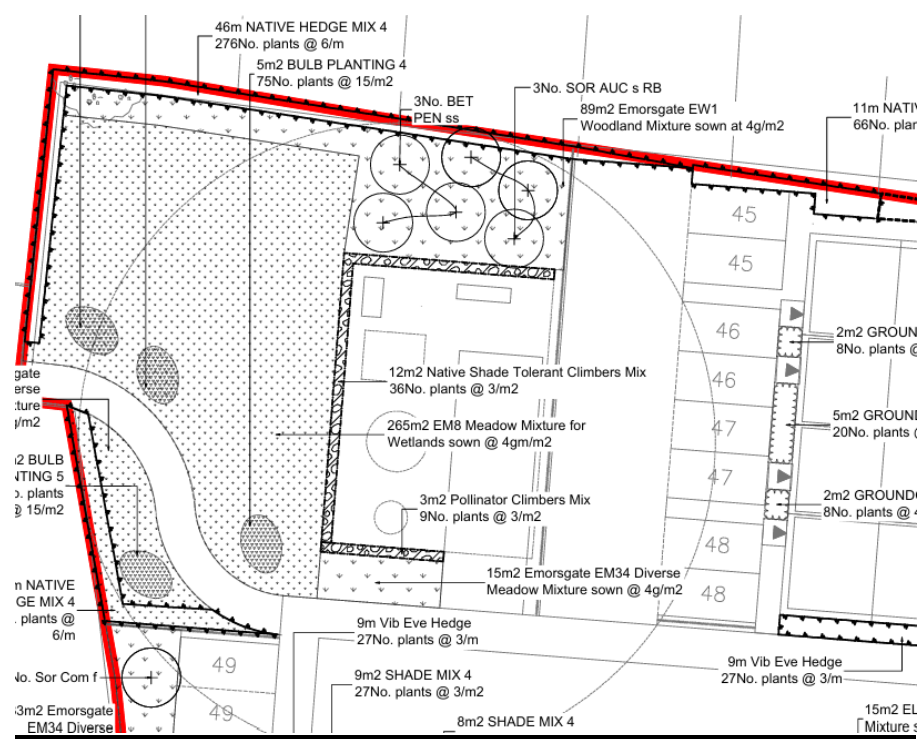
More prominent boundary treatments, such as those bounding the gardens of the bungalows along the southern boundary will comprise a brick wall, with timber inserts. The boundary treatment along the connecting footpath between plots 14-15 and 27-28 will be a 1.8m high boundary screen wall with hit and miss fence, to provide some surveillance onto the path.

A condition will be imposed requiring the retention of the prominent boundary treatments, in the interests of maintaining an acceptable appearance.

The submitted boundary treatment plan proposes open frontages, and given the constrained shape of the site, it is considered that frontages without boundary treatments will maintain an open appearance of the site. It is therefore considered reasonable to remove Permitted Development Rights for boundary treatments forward of principle elevations, in the interests of maintaining an attractive layout which integrates into its surroundings.



Identified on the plan above, to the west of the site, is the proposed pumping station. It is not clear on the submitted details how this will appear once completed, although the landscaping plan extract below identifies that it will have vertical planting to the compound fencing.



It is the understanding of the Local Planning Authority that the pump system will be predominantly contained below ground, and the only above ground development will be a small equipment cabinet. However, the appearance of any compound around the station will have an impact on those residents in the affordable housing plots facing the site. It is also important to ensure that the appearance of the pumping station does not cause visual harm to that part of the site which contains publicly accessible open space. The applicant has indicated in an email dated 24 June 2026 that the water company requires a palisade fence around the compound, which is a boundary treatment not typically favoured due to its unsightly appearance, and which will be difficult for climbing plants to integrate with. On other developments in the District a Paladin fence has been used which responds well to hedge screening. Accordingly, it is deemed necessary that a condition will need to be imposed for details of the layout and appearance of the pumping station, including details of compound fencing and landscaping to be agreed prior to commencement of development.

It is considered that subject to appropriately worded conditions, the design, layout and appearance of the proposed development provides an appropriate mix of housing, using materials and detailing to make best use of the site which responds to its context and would deliver high quality and cohesive design.

Local character and context

Condition 3 on the Outline requires the proposal to demonstrate how the architectural character and distinctiveness of Glapwell has informed the design of the development.

This part of Glapwell is characterised mainly by twentieth-century housing. Park Avenue contains similar semi-detached red brick dwellings with concrete roof tiles. Dwellings fronting Mansfield Road are more traditional, bay-fronted, semi-detached two-storey properties, although many have been altered over time through the use of render and pebble dash, which has diluted their original character. Blacksmiths Close is a small cul-de-sac of four detached two-storey stone dwellings. The Meadowview development to the north is predominantly red brick housing with high quality materials and detailing such as stone cills/lintels and flush windows. This development is visually separated from the proposed development by the cricket club which lies between the sites.

Given this varied context, there is no single defined architectural character in this part of Glapwell. The proposed use of brick and stone façades is therefore considered appropriate and capable of integrating with the surrounding built form.

The scheme proposes five bungalows along the southern boundary. Although bungalows are not a common dwelling type in the surrounding area, their use in this location is justified because they will reduce the scale and massing of development adjoining the rear boundaries of properties on Mansfield Road. Their spacing, garden arrangements and side parking would further reduce the extent of built form along this sensitive boundary.

The application site is well contained by existing housing and rear gardens to the south, west and north. The outward-facing elevations along the eastern edge will provide a sympathetic relationship with the countryside boundary and help soften any longer-range views from outside the site.

Overall, the development is considered to satisfy Condition 3 of the outline consent. It will provide a form of development that will be consistent and compatible with the scale, design and appearance of nearby housing. There are no important buildings or identified views within or adjoining the site that require a different design response.

The scheme will interact positively with the countryside edge and will provide reasonable pedestrian and cycle connections, as discussed in greater detail later in this report.

Land designation

The application site is within the countryside as defined by policy SS9 and also within an Important Open Break as defined by Policy SS11 of the adopted Local Plan. This issue has also been raised in resident comments.

The purpose of an Open Break is to prevent settlement coalescence and protect the individual character and identity of settlements. Policy SS11 states that, within open breaks between settlements, planning permission will only be granted where development does not detract from maintaining an open character that contributes to the separation of settlements and their individual identity and sense of place.

While the officer report for the Outline proposal gave substantial weight to the emerging Local Plan and identified harm to the character and function of the Open Break as one of the recommended reasons for refusal along with the countryside location of the site, the officer recommendation was overturned at Planning Committee. Members concluded that the development would provide much-needed affordable housing in a village where house prices were high, and that the site represented an acceptable windfall opportunity. Members also considered the allowed appeal on the adjacent Meadowview site to the north. They concluded that, on the individual merits of the case, the limited harm arising from conflict with Local Plan policies and impacts on the local area would be significantly and demonstrably outweighed by the benefits of approval. (*Minutes of a meeting of the Planning Committee of the Bolsover District Council held in the Council Chamber, The Arc, Clowne on Wednesday, 12th February 2020 at 10:00 hours*).

Accordingly, the principle of developing this part of the countryside and Important Open Break has been deemed acceptable in principle, through the granting of outline planning permission.

The reduction in dwelling numbers from up to 62 to 49 will significantly reduce the overall level of built development on the site. The layout has also been designed to integrate with the existing built form, which defines three of the site boundaries.

Along the countryside edge, front-facing properties and the proposed native hedgerow will create a clear and distinctive settlement edge, to help maintain the open character that contributes to the eastern edge of Glapwell.

Proposed layout and Impacts on existing landscape features

Policy SC10 of the Adopted Local Plan states that *development should contribute to the protection, enhancement, and where possible expansion of woodlands, trees and hedgerows in the area. The loss of woodland, healthy trees and hedgerows with visual, historic or wildlife*

importance will be resisted. Development proposals should

- a) Incorporate important woodlands, trees and hedgerows into the overall design and landscape scheme wherever possible*
- b) Prevent damage to root systems and ensure a satisfactory spatial relationship between trees and hedgerows and new development, taking account of expected future growth*
- c) Where possible incorporate retained trees and hedgerows within public open space rather than just private space to safeguard their long term management*
- d) Ensure robust protection measures before, during, and after the development process and appropriate management and protection thereafter*
- e) Take opportunities for new planting consistent with landscape, wildlife and historic interests*
- f) Be designed so as to avoid any future conflict between trees and development*

The framework is clear in Paragraph 187 that planning decisions should contribute to and enhance the natural and local environment by protecting and enhancing *valued landscapes and by recognising the intrinsic character and beauty of the countryside*. Paragraph 193 (c) states that *development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists*.

Condition 27 of 19/00583/OUT requires the reserved matters for the site to make provision for the retained hedgerows and trees within the site, and must demonstrate that the proposed development will not harm the hedgerows or any trees within them. In this condition, 'retained tree' or 'retained hedgerow' means an existing tree or hedge which is to be retained to comply with the approved plans and particulars; and paragraphs (a) and (b) below will apply for five years after the occupation of the last dwelling on the development.

(a) No retained tree or hedgerow will be cut down, uprooted or destroyed, or topped or lopped, other than in accordance with the approved plans and particulars. If any retained tree or hedgerow is removed, uprooted, or destroyed or dies, another tree or hedgerow must be planted at the same place and that the tree or hedgerow plants must be of such size and species, and must be planted at such time, as approved in writing by the Local Planning Authority.

(b) Before any equipment, machinery or materials are brought onto the site to implement this planning permission, temporary fencing must be erected to protect the existing retained hedgerows and trees. The fencing must be erected in accordance with BS 5837, and be retained and maintained until all equipment, machinery and surplus materials have been removed from the site. Protective fencing must be at least 1.2m high, strong enough to resist impacts and must include intermittent signage along its length warning site operatives that the, 'Hedge and/or trees is/are to be retained and is/are protected by condition of planning permission'; and also advising that nothing shall be stored or placed within the fenced area, and the ground levels within the fenced area shall not be altered, and no excavation shall take place without the written consent of the Local Planning Authority.

The primary considerations for the impacts on landscape features are the mature trees and the hedgerows which are on the site's boundaries.

The two rows of mature trees to be retained on either side of Park Avenue will make an important visual contribution when entering the development, bordering both sides of the site access. These trees shall be incorporated into the onsite open space, with meadow planting,

shrubs and orchard trees planted in front. The trees will soften the overall built development and will help with the transition of further built form into a semi-rural environment.

To demonstrate compliance with Condition 27 of the Outline Consent, in addition to the Arboricultural Impact Assessment and Arboricultural Method Statement, an addendum has been submitted by Enzygo Environmental Consultants, dated 12 June 2026. The addendum covers 2 trees on third party land which have been identified during processing of the application, one of which is an oak of moderate quality. It was determined that *whilst the development proposals would not directly influence these trees, some residual impact may be expected during the construction phase. This includes*

- *The potential for accidental damage to branches overhanging the site during construction; and*
- *The potential for ground compaction and ground distortion, caused by machinery and plant operation within the Root Protection Areas of these trees, as identified during the survey.*

The report identifies that these trees will be assessed during development with the arborist with temporary ground cover provided during construction and a protective barrier 5m from the base of the oak tree.

The original survey which still forms the basis of this application has identified twenty-three trees, three tree groups and six sections of hedgerow which are generally peripheral features growing on the site's boundaries. The overall condition of the trees has been described as fair by the Arborist. No trees of high quality and value (Category A) were recorded during the survey. Fourteen trees have been identified as moderate quality and value (Category B). These are healthy trees with some remedial defects, which are expected to make a landscape/visual contribution for a minimum of 20 years. Nine trees, three tree groups and six tree hedgerows are of low quality and value (Category C). These are unremarkable trees of limited merit, of poor form with little amenity value.

Of the trees on site, only two are proposed for removal, one (T18) Category B and one (T15) Category C on either side of the vehicular access on Park Avenue. Removal is necessary to directly implement the proposals and establish the vehicular access already approved at Outline Stage.

The Arborist notes that removal of T15 and T18 will allow for the un-obstruction and growth of adjacent trees T13 and T19 and so, the removal of T15 and T18 would benefit the health and future longevity of the adjacent trees as positive landscape features at the main vehicular entrance to this development. In addition, five new trees will be planted in this area to provide sufficient mitigation.

No other tree works are proposed to the remaining trees within the application site, and this is reflected in the submitted landscaping plans.

Given that the majority of the trees are to be retained, and the application is providing replacement tree planting, it is not considered that the character of the site would be harmed by the proposed development. The tree report makes recommendations for identifying the root protection areas, the installation of ground protection measures and protective fencing to be adhered to throughout the construction phase, in the interests of protecting the positive

landscape features from harm. Therefore, the development is considered to comply with the requirements of Condition 27 of the Outline Consent.

Condition 28 of 19/00583/OUT requires the Reserved Matters application to include details of a landscape boundary along the entire eastern edge of the application site, comprising of a mix of native trees and hedge, of an indigenous species. The landscape boundary edge shall be planted in the first planting season after commencement of the development and thereafter maintained in accordance with conditions 25 and 27 above.

To comply with Condition 28 of the Outline Consent, the application is proposing a landscaped boundary along the entire eastern edge of the application site. This includes a new native species hedge which spans the entire eastern boundary, and a soft landscaped area in between the hedgerow and the private drives/turning head of the plots on the eastern side of the site. This landscaped boundary is also supplemented by new tree planting. To the rear of this hedge will be a post and rail timber fence. Access is required along part of its length for landowner access into the adjacent field. There will also be a gap in the north east corner for the public footpath connection. The applicant was asked whether the field access required for the landowner could be incorporated into the public footpath opening, to reduce the gaps in this hedgerow, in the interests of future maintenance and overall appearance of the completed development. The applicant confirmed in an email dated the 23 June that Forge New Homes have already exchanged on this within the legal contract with the current landowner and its position has been agreed. As such, the hedge along the eastern boundary will have two gaps for access into the adjacent field.

Conclusion

The Council acknowledges that the development will extend development into an existing green field, within the designated countryside and an Important Open Break. However, as stated above, the principle of development has already been accepted through the approval of the Outline application. This application is to assess the layout and appearance of the proposed scheme and how it informs local context, the rural location and the impact on any existing landscape features.

In design terms, assessing the visual impact of the proposed development against the submitted layout and appearance, the development is considered to comply with Policy SC3 of the adopted Local Plan as it will create a good quality development, that through careful design and layout will respond positively to local context, identity and heritage, including height, scale, massing, density, layout and materials.

In accordance with Paragraph 135 of the NPPF, the development will deliver a high-quality housing that is appropriate in scale and character to its surroundings.

It is considered that the application meets the requirements of Policy SC10 of the adopted Local Plan and paragraphs 187 and 193 of the Framework and will deliver a well-designed development that will integrate well with its surroundings.

It is therefore considered that the proposed development meets the requirements of local and national policies which seek to ensure that developments integrate into their surroundings. Through the imposition of appropriately worded conditions requiring the development to be carried out in accordance with approved plans, requiring submission

of materials for approval, removal of permitted development rights for prominent boundary treatments, and securing the retention of existing landscape features of note, the development will not cause harm to the visual amenity of the area, or harm to countryside character, sufficient to warrant a reason for refusal.

Residential Amenity

Policy SC3 (n) of the Adopted Local Plan requires development proposals *to ensure a good standard of amenity is maintained for the occupants of existing neighbouring properties as well as the future occupants of new development, including levels of privacy and light, position and avoiding overbearing relationships and the provision of adequate amenity space.*

Policy SC11 of the Local Plan requires that *development likely to cause, or experience, a loss of residential amenity as a result of light, noise, dust, odour or vibration, or a loss of privacy must be supported by a relevant assessment. If necessary, appropriate mitigation must be put in place. Applicants will need to demonstrate that a significant loss of amenity would not occur as a result of the development or throughout its construction and operation*

Paragraph 135 (f) of the framework states *planning decisions should ensure developments; amongst others; create places with a high standard of amenity for existing and future users,*

The District Council's SPD 'Successful and Healthy Places' was adopted in 2025. To protect the amenity of existing and future occupants, it sets out minimum separation distances between residential dwellings and minimum garden areas to provide a good quality of life and prevent massing, overshadowing and overlooking to neighbouring property. The SPD is clear that this guidance cannot always be applied rigidly as there will be circumstances where consideration is necessary to local site context and constraints associated with some application sites.

The proposed development provides a good standard of amenity for new residents. The separation distances between properties are in accordance with the Successful and Healthy Places SPD providing at least 21m between main aspect windows, and garden sizes are in accordance with that required for bedroom numbers, providing around 50m² for 2-bed properties and 70m² for 3 and 4-bed properties. Properties will be afforded adequate privacy through the 1.8m high close board fences bounding rear gardens. Where rear gardens are adjacent to the highway boundaries will comprise 1.8m high brick walls with timber inserts.

Where the development site backs onto existing residential properties sufficient separation distances have been achieved, and 1.8m high close board fencing within the application site, along shared boundaries will ensure privacy is maintained.

Because of site constraints along most of the southern border, dwellings in this area will comprise 2-bed detached bungalows, with no windows in the southern elevation as shown on the plans below.



A condition will be included to remove PD rights for these properties, to maintain privacy levels for properties on Mansfield and to ensure that there is no potential for overlooking.

Other material considerations relating to the protection of residential amenity cover issues such as the control of dust. Condition 5 on the outline approval required the submission and approval of a Dust Management Plan through the RM application. This was submitted on the 2 June 2026, and Environmental Health were consulted, confirming on the 12 June 2026 that the Plan was sufficient and as such that condition could be formally approved through the RM application.

Another area of potential amenity harm is disturbance arising during the construction period on those residents occupying part of the incomplete development site. The responding Local Highways officer at County has required the submission of a Construction Management Plan which shall identify travel routes for construction traffic, hours of operation, parking and storage etc.

Subject to the development being carried out in accordance with the submitted plans and adherence to any imposed conditions, the development is considered to provide a good standard of amenity for new and existing residents and have acceptable impacts on residential amenity in accordance with Policy SC3 (n) of the Adopted Local Plan and paragraph 135 (f) of the framework.

Provision of a Safe and Suitable Access

Policy ITCR10 of the Local Plan requires that *development proposals should provide convenient, safe and attractive access via footpaths, footways, bridleways, cycle paths and public realm areas.*

Paragraph 109 of the Framework identifies that transport issues should be considered from the earliest stages of development proposals, using a vision-led approach to identify transport solutions that deliver well-designed, sustainable and popular places. This should involve

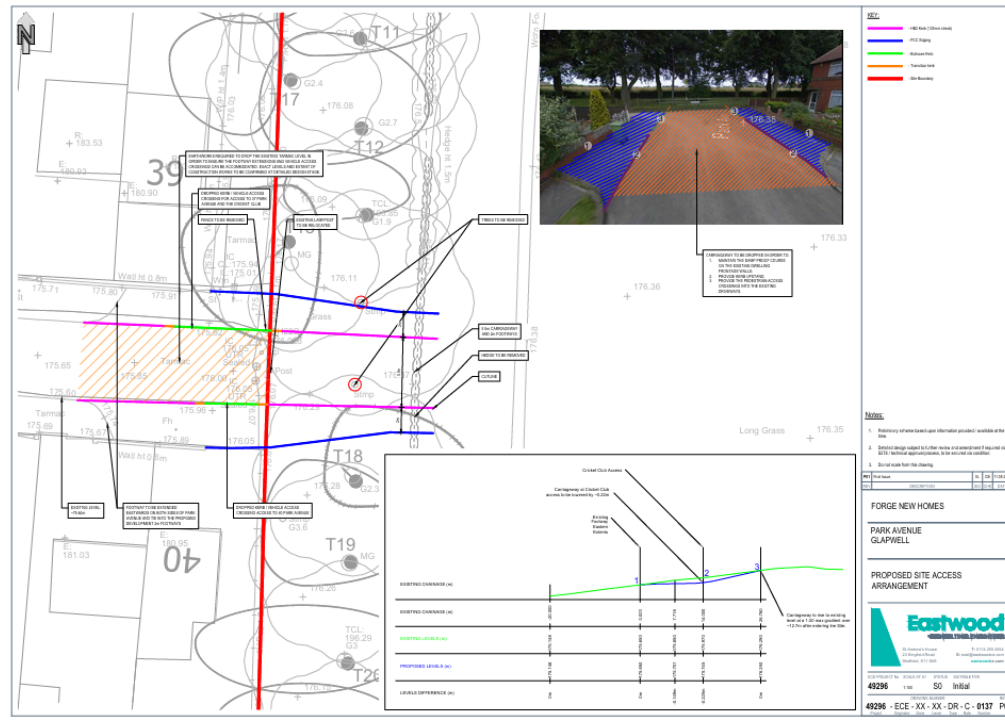
ensuring patterns of movement, streets, parking and other transport considerations are integral to the design of schemes and contribute to making high quality places.

Paragraph 115 requires that sites should provide safe and suitable access that can be achieved by all; paragraph 117 goes on to say that proposals for development should c) create places that are safe, secure and attractive – which minimise the scope for conflicts between pedestrians, cyclists and vehicles, avoid unnecessary street clutter, and respond to local character and design standards; and paragraph 135(f) also requires developments to be safe, inclusive and accessible.

Condition 8 on the Outline approval required that *Unless otherwise approved in writing by the Local Planning Authority, the development must not be commenced until a detailed scheme of highway improvement works for the extension of Park Avenue, together with a programme for the implementation and completion of the works, has been submitted to and approved in writing by the Local Planning Authority. No part of the development will be brought into use until the required highway improvement works have been constructed in accordance with the approved details.*

The main vehicular access into the site is from Park Avenue. The existing highway will require works on Park Avenue to create the access as shown on the plan below, generally comprising of the following:

- Earthworks required to drop the existing tarmac level in order to ensure the footway extensions and vehicle access crossings can be accommodated. Exact levels and extent of construction works to be confirmed at detailed design stage.
- Dropped kerb / vehicle access crossing for access to 37 park avenue and the cricket club
- Footway to be extended eastwards on both sides of park avenue and tie into the proposed development 2m footways
- Dropped kerb / vehicle access crossing access to 40 park avenue
- Relocation of lamp post
- Two trees to be removed (previously agreed through the Outline)
- Formation of 2m footways and 5.5m carriageways.



These works will be carried out through a Section 278 Agreement between the developer and Local Highway Authority.

The Council acknowledges concerns raised by local residents in regard to the provision of this access, however the County Highway Authority has been consulted on the application, and in accordance with their comments dated 19th June they have no objections in relation to the proposed access works, subject to the inclusion of advisory notes relating to the Section 278 Agreement.

It is therefore considered that sufficient information has been submitted to inform the proposed vehicular access, in compliance with policy ITCR10 of the Local Plan. The technical details for the construction of the access will be agreed between the developer and County Highway Authority.

Whilst there is only one vehicular access into the site, the application also proposes a pedestrian/cycle link to the northeast, adjoining the Meadowview development, which will adjoin Public Right of Way no. 4, which runs across the northern boundary of the site. To ensure that this link is delivered within a reasonable time to facilitate safe access and a non-motorised connection for pedestrians and cyclists from the Meadowview development, a condition will be included for details, including a timetable for implementation to be submitted and approved, prior to commencement of development.

The Outline application also proposed a pedestrian and cycle access in the southwest corner of the application site, leading onto Blacksmiths Close, in the interests of connectivity and to promote sustainable transport. Blacksmiths Close is an unadopted road.

Condition 33 of the Outline approval required *The Reserved Matters application include a detailed scheme demonstrating how pedestrian and cycle access from the site, onto*

Blacksmiths Close will be formed. Details must include, along with a timetable for implementation; the proposed surface materials; kerb/edge treatments; details of structures required for the connections (speed barriers etc); provision of lighting.

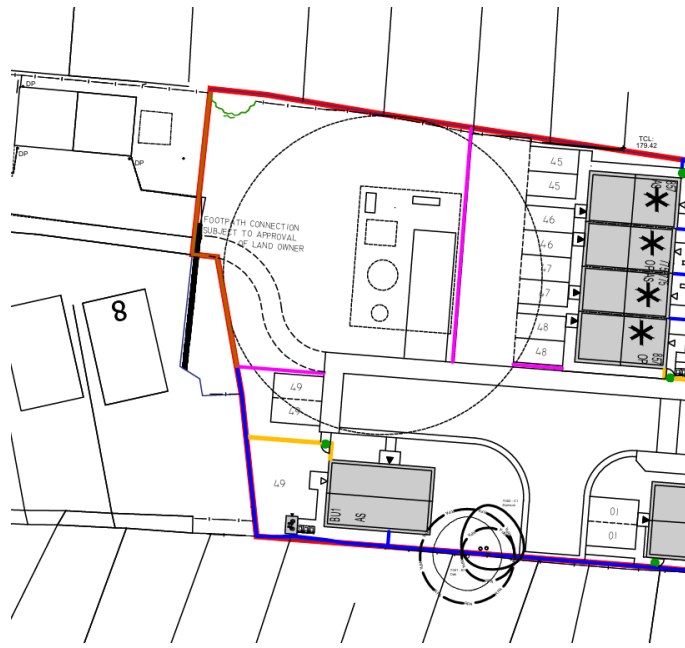
The current landowner of the development site also has control of land on Blacksmith's Close to facilitate this access, although there is some uncertainty on whether approval to use this land will be agreed once the developer has acquired the development site. There have also been concerns raised over this access by residents on Blacksmiths Close, and also from the Police Designing Out Crime officer.

Officers have carefully considered the footpath and pedestrian link given the Force Designing Out Crime Officer's objection to it in principle. Although Officers understand Blacksmiths Close to be privately owned, it is a relatively short cul-de-sac of only four detached dwellings, all of which have the principle elevation windows over two storeys fronting the Close. Future users of the pedestrian and cycle link would therefore benefit from natural surveillance via the occupiers living on Blacksmiths Close, which would in turn deter nuisance and crime. The driveway is open in nature, as are the front curtilages, and clear public views are available from Bolsover Road to the end of the Close. In addition, the same public views would be able from within the application site looking towards Blacksmiths Close.

The planning system is required to consider all material planning considerations, which in the overall planning balance needs take account of the need for better inclusivity and connectivity on and across development sites against any public harm which might arise.

In this case it is considered that the proposed footpath and cycle link would be a well-used link, given that it connects to Bolsover Road and therefore provides a shortened means of access to amenities such as the nearby Young Vanish Inn. The footpath is the only opportunity to provide access onto the adopted highway via the southern boundary of the site, preventing occupants from having to use Park Avenue, which would encourage the use of private vehicles.

There is currently an unrestricted opening from the application site onto Blacksmith's used by walkers and has been used as such for a number of years. It is therefore hoped that this access can remain in place through agreement with the landowner to promote sustainable transport and encourage walking and cycling through the site through the provision of a pedestrian connection into the village centre. The details submitted with the application show how the access can be formed within the site, as shown on the extract from the boundary treatment plan below:



The details submitted under the Reserved Matters application do not fully meet the requirements of condition 33, only in part. However, given the current uncertainty over whether this access can be formed it is not considered reasonable to require full engineered plans at this stage. As such, a condition will be included to require the proposed surface materials; kerb/edge treatments; details of structures required for the connections (speed barriers etc), and provision of lighting to be submitted once landowner consent had been obtained, and prior to occupation. For the purposes of meeting condition 33 of the Outline it is considered that sufficient information has been submitted to demonstrate that this access can be achieved. In the event that the access cannot be formed, officers do not consider that this should warrant a reason for refusal on ground of connectivity or promoting sustainable transport. Whilst it is welcomed, the site is still able to function without the link, it will just mean that residents have to use Park Avenue to access nearby services and facilities.

There is an existing public right of way (FP4) which runs along the northern boundary of the application site as shown on the map extract below. This adjoins the settlement of Stoney Houghton to the East and terminates at the entrance to the cricket club located to the northwest of the site.



This path will be incorporated into the proposed development, and will continue along the northern stretch of the estate road before exiting the northwest corner of the site. The County Highway Authority has given consideration to the submitted details and raised no objection subject to an advisory note reminding the applicant of their obligations towards the closure and/or diversion of public footpaths. There have not been any specific details submitted about the treatment and exact route of the public footpath through the site, and how it adjoins the pedestrian/cycle link to the north. Therefore, to maintain connectivity from the Meadowview site and the public footpath, a condition will be included requiring details of works required to the public footpath, how it adjoins the path from the north and timetable for implementation of the paths, as they will need to be operational prior to completion of the development. This condition is not a requirement of the highway authority but is considered necessary to maintain footpath connections through the site and into the wider area, and to ensure a satisfactory appearance of the completed development.

It is considered overall that the site provides a safe and suitable means of access and egress for vehicles, pedestrians and cyclists subject to the full compliance of conditions and agreeing implementation timescales to maintain connectivity, in accordance with policies SS1, SC3 and ITCR10 of the Local Plan.

Estate Roads and Parking

Internal Estate Roads

Policy SC3e requires developments to *provide a positive sense of place through well designed streets and spaces which are safe, attractive and appropriate to their context f) Take account of the need to reduce opportunities for crime and the fear of crime, disorder and antisocial behaviour, and promote safe living environments g) Provide streets and spaces that are shaped by buildings, clearly defined boundaries and incorporate recognisable vehicular and pedestrian routes*

Estate layout design is considered throughout the Framework. Paragraph 96 requires decisions to *achieve street layouts that allow for easy pedestrian and cycle connections within and between neighbourhoods and active street frontages*; paragraph 109 requires that *patterns of movement, streets, parking and other transport consideration are integral and contribute to making high quality places*; paragraph 115 requires that the *design of streets and parking areas reflect current national guidance*.

The provision of streets and spaces are constrained to some extent from the irregular outline of the application site. There was also the need to consider the appearance of the eastern edge of the site, to ensure that it didn't result in rear gardens with high boundary treatments occupying that boundary but rather provide dwellings which front onto the countryside edge. This means that the estate road has to border this edge, with a landscape buffer and hedge planting / post and rail fence.

The estate road terminates in the southeast corner of the application site with 5 properties served off what appears to be a private drive. The western edge of the application site also terminates in a turning head for vehicular traffic.

A vehicle tracking plan has been submitted to demonstrate how vehicles, in this case refuse vehicles manoeuvre through the site.



Whilst the layout of the estate road and how the site is accessed is not ideally laid out to aid flow and connectivity, it has been designed to make the best use of the site constraints and to provide a safe and appropriate layout for residents. The provision and upgrade of footpaths, provides pedestrians and cyclists greater movement through the site, improves connectivity and makes the public spaces safe, and appropriate to their context.

Street Trees

Paragraph 136 identifies that *trees make an important contribution to the character and quality of urban environments and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined (Unless, in specific cases, there are clear, justifiable and compelling reasons why this would be inappropriate) , that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users.*

The application does not propose specific street trees but does provide an abundance of trees around the site (all of which are native, and many are orchard trees), including strengthening the trees / vegetation which line the main access road on its western side at the site entrance.



There were no conditions on the Outline application relating to street trees, and both the Outline decision, and submission of the Reserved Matters application were prior to the 2024 National Planning Policy framework which included this paragraph. The application site provides an attractive cluster of mature native trees at both sides of the site access, and coupled with the orchard trees to be planted in two areas of open space, and on plot trees to be retained by occupiers, it is considered that there is sufficient tree cover on site to meet the requirements of the Framework.

The highway authority has been consulted on the application and raised no objections to the estate layout subject to a condition requiring the estate roads to be provided in accordance with the submitted details and an advisory note reminding the applicant of the S38 process if the roads within the site are to be adopted.

Parking provision

Policy ITCR 11 and the Local Parking Standards SPD requires developments to provide appropriate provision for vehicle and cycle. Parking provision should a) Relate well to the proposed development b) Be well designed, taking account of the characteristics of the site and the locality c) Provide a safe and secure environment d) Minimise conflict with pedestrians and / or cyclists e) Make provision for service and emergency access. The adopted parking standards go even further to recommend on plot cycle stores.

Paragraph 109 of the Framework requires that transport issues are considered at the earliest stages and that they should ensure patterns of movement, streets and parking are integral to the design of schemes (b) and should identify and pursue opportunities to promote cycling.

The Successful and Healthy Places SPD also provides guidelines on garage and parking space and how these should be laid out.

The proposed layout provides a mix of plots with garages, driveways and frontage bay parking. The size of these spaces accords with the requirements of the standards identified above, respective of bedroom numbers determining the amount of on plot parking required.

Each of the plots, including the affordable housing also have timber cycle stores on the rear gardens to promote sustainable travel. A condition will be included for the cycle stores to be provided prior to occupation of the respective plot.

It is therefore considered that the proposal provides an acceptable standard of on plot parking to serve the development, in compliance with policy ITCR11, the Local Parking Standards and the objectives of the Framework.

Ecology and Biodiversity Considerations

This application is exempt from the mandatory biodiversity gain plan condition as the outline permission was approved in 2020. The approval of reserved matters for outline planning permissions is not subject to the biodiversity gain condition (as it is not a grant of planning permission).

Notwithstanding the above, Policy SC9 of the Local Plan requires:

Development proposals should seek to conserve and enhance the biodiversity and of the District and to provide net gains where possible. Proposals for development must include adequate and proportionate information to enable a proper assessment of the implications for biodiversity and geodiversity.

Development proposals will be supported where significant harm to biodiversity resulting from a development can be avoided or, if that is not possible, adequately mitigated.

Where development proposals do not comply with the above they will only be supported if it has been clearly demonstrated that there is an overriding public need for the proposal which outweighs the need to safeguard biodiversity and/or geodiversity and there is no satisfactory alternative with less or no harmful impacts. In such cases, as a last resort, compensatory measures will be secured to ensure no net loss of biodiversity and, where possible, provide a net gain.

Paragraph 187 of The Framework requires planning decisions to *contribute to and enhance the natural environment by b) recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland; and d) minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures and incorporating features which support priority or threatened species such as swifts, bats and hedgehogs;*

Paragraph 193 requires that *a) if significant harm to biodiversity resulting from a development cannot be avoided (through locating on an alternative site with less harmful impacts),*

adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused; c) development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons⁷⁰ and a suitable compensation strategy exists; and d) development whose primary objective is to conserve or enhance biodiversity should be supported; while opportunities to improve biodiversity in and around developments should be integrated as part of their design, especially where this can secure measurable net gains for biodiversity or enhance public access to nature where this is appropriate.

Condition 24 on the Outline application requires the submission and approval of a Construction Environmental Management Plan (CEMP) through the Reserved Matters. The previous developer, Meadowview submitted one which was approved by the Wildlife Trust. An addendum has been submitted on the 24 June 2026 to update this given the change in developer and site layout. Derbyshire Wildlife Trust has been re-consulted on this and their response will be provided to Members as a late item. If comments have not been received, or if further amendments are required, Members are requested to allow this outstanding matter to be delegated to officers before issuing the decision.

Condition 25 on the Outline application requires the submission and approval of a Landscape Biodiversity Enhancement and Management Plan (LBEMP) through the Reserved Matters application. This matter has been subject to much discussion and negotiation as the development results in an overall net loss, although provides gains in hedgerow habitats. Further information including an updated BNG Metric and a BNG Assessment letter has been submitted on the 24 June 2026 and has been sent to Derbyshire Wildlife Trust for comments. Their final response will be presented to Members as a late item, but should comments not be received before the meeting, or amendments required to meet the requirements of the condition, then Members are requested to allow this outstanding matter to be delegated to officers before issuing the decision.

Condition 26 relates to timescales for hedgerow and tree works.

Condition 27 (retained trees and hedges) and condition 28 (hedge along eastern boundary) require the submission and approval of details through the Reserved Matters but these have been assessed and accepted in the relevant sections above.

The development proposed only results in the loss of two trees at the site entrance. Other than that, all hedges and trees are to be retained. The development also provides a linear hedge with native tree planting along the eastern boundary. Within the site, there are native trees and orchard trees within the open spaces and within plots.

It is therefore considered that sufficient information has been submitted to provide a general overview of the landscape requirements for this site. The only outstanding matters relate to agreement of the Construction and Environmental Management Plan (CEMP) and the Landscape Biodiversity Enhancement and Management Plan (LBEMP), which at the time of writing this report were being further reviewed by Derbyshire Wildlife Trust. Any requirement to purchase credits to compensate for any habitat loss can be controlled by condition.

Other Material Planning Considerations

Flooding and drainage

Conditions 21 and 22 on the approved Outline relate to drainage and surface/foul water disposal and require details to be submitted and approved prior to commencement of development.

Notwithstanding that, the County Lead Local Flood Authority has been consulted on the application. They initially advised that if conditions 21 and 22 were to be approved through the RM application, then infiltration testing would need to be done over the site with results submitted for approval. This has not been done and so the conditions have not been approved at this stage.

The responding flood officer has advised however that the relevant surface water conditions can be discharged within the revised proposed layout of the reserved matters application.

They have advised that in order to discharge the relevant surface water conditions, records of infiltration testing across the site will need to be submitted to ensure that infiltration will be a viable outfall for surface water and that soakaways are sized appropriately. In addition, the applicant will have to demonstrate how the on-site surface water drainage systems shall be maintained and managed after completion and for the lifetime of the development to ensure the features remain functional, in particular soakaways that are within private land or shared, including access and responsibility. This advice shall be included as an informative on the decision notice, along a note advising that soakaways should not be within 5m of an adoptable highway or any building.

It is therefore considered that whilst the full surface and foul water drainage details have yet to be approved, sufficient information has been submitted to inform the layout of the development.

Environmental Protection

Details relating to the investigation and mitigation of contamination issues are covered under condition 4 of the Outline approval, which will need to be approved in part prior to commencement of development.

Condition 5 requires the submission and approval of a Dust Management Plan as part of the Reserved Matters application. The purpose of a Dust Management Plan is to reduce the windblown dust from ground surfaces, stockpiles, vehicles surface and cutting and grinding of materials. Prior to any works which may involve or be likely to give rise to dust emissions from the site, a risk assessment will be carried out to ensure that all appropriate dust control procedures are implemented with mitigation where necessary. The Council's Environmental Health officer has confirmed that the submitted Plan is acceptable and as such condition 5 can be approved.

Public Open Space

The Council's Leisure Facilities Planning and Development Manager has been consulted on the proposal.

They originally raised concerns over the layout and use of the open space, whether these

areas were accessible by the public, and how they were going to be surfaced and landscaped. The latest plans have sought to resolve the concerns raised, and in their most recent comments they have confirmed that they have no issues with the proposal. They did agree with officers that a gate should be installed on the eastern boundary where the public footpath runs through and that the submitted details showing the treatment of FP4 is lacking details and needs to be clear through the development. As such, the condition below requiring details of the final route and treatment to public footpath No4, including the route through the site, and how it adjoins the new footpath to the north, with information such as a timetable for implementation; the proposed surface materials, kerb/edge treatments and details of structures required for connections (gate, speed barriers etc), and provision of lighting to be agreed prior to commencement of development.

They also drew officers' attention to the requirements of the S106 Agreement which requires a commuted sum if play equipment is not provided on site, of which this obligation will be triggered.

It is therefore considered that sufficient open space has been provided on site in accordance with policy requirements and subject to meeting the obligations contained within the Section 106 Agreement.

Conclusions on the Key Issues

The development as proposed has been subject to amendments and updates which result in a satisfactory form of development which responds positively to its settlement edge context in terms of height, scale and density. The layout provides a good mix of housing types and a good quality materials pallet. The layout also provides for a good standard of amenity for future residents and protects the amenity of existing residents around the site.

There is ample landscaping proposed within the site, including native and orchard trees, and new native hedgerows around the site boundaries and along the eastern edge.

There were several conditions imposed on the Outline application which required approval through the Reserved Matters application. Specifically, these are conditions 3, 5, 7, 24, 25, 28, 33 and 35. The details reserved by Conditions 24 and 25 are still awaiting approval from Derbyshire Wildlife Trust and Members are requested to permit officers to resolve these outstanding matters to deliver appropriate habitat enhancement and protection to avoid a net loss of biodiversity to satisfy the requirements of Policy SC9 of the development plan. A possible pedestrian link to Blacksmith's Close link will be facilitated to meet the objectives of Condition 35.

The applicant will need to be mindful of the remaining conditions on the Outline application which require details to be submitted prior to commencement of development or pre-occupation, and they are also reminded of their obligations within the Section 106 Agreement.

Overall, it is considered that the layout, scale, appearance and landscaping of the site is acceptable and, as such, Members are requested to approve the application following the approval of the CEMP and LBEMP by Derbyshire Wildlife Trust.

RECOMMENDATION – That following the approval of the Landscape and Biodiversity Enhancement and Management and Construction Environmental Management Plans (LBEMP and CEMP) by Derbyshire Wildlife Trust, delegated authority be given to the Development Management and Land Charges Manager and Principal Planners to grant planning subject to the following conditions, which are written in precis form:

1. The development hereby approved shall be carried out in accordance with the following plans and documents:

- Drawing ref: 2520.01.L - Planning Layout; received 24 June 2026
- Drawing ref: 2520.03.F - Materials Layout; received 24 June 2026
- Drawing ref: 2520.06.G - Boundary Treatment Plan; received 24 June 2026
- BNG Metric V03 dated 23 June 2026; received 24 June 2026
- BNG Letter; received 24 June 2026
- CEMP Biodiversity Addendum; received 24 June 2026
- Cricket Ball Strike Assessment – Labosport (LSUK.26-0513_CBA) received 23 June 2026
- Foundation Zoning Plan – Eastwood Consulting – 49296-ECE-XX-XX-DR-C-008 P03 received 23 June 2026
- Boundary Treatment Plan – 2520.06 Rev G; received 19 Jun 2026
- Revised bungalow elevations and Floor Plan – 2520.BU1.01.Rev A; received 19 June 2026
- Soft Landscaping Plan Sheet 1 of 3 - DR L 4503 P04 received 19 June 2026
- Soft Landscaping Plan Sheet 2 of 3 - DR L 4502 P04 received 19 June 2026
- Soft Landscaping Plan Sheet 3 of 3 - DR L 4501 P03 received 19 June 2026
- Soft Landscape schedule - SHF9048001-ENZ-L-SC-045-001 Rev P04; received 19 June 2026
- Vehicle Tracking Layout (Refuse Vehicle) - ECE-XX-XX-DR-C-ATR2-P01; received 8 June 2026
- Addendum to Land OA Park Avenue, Glapwell Reserved Matters Number 24 – Construction Environmental Management Plan (CEMP: Biodiversity); received 4 June 2026
- Drainage Strategy – ECE-XX-XX-DR-C-0001-P06; received 2 June 2026
- Proposed site access arrangements – ECE-XX-XX-DR-C-0137-P01; received 2 June 2026
- Levels Strategy – ECE-XX-XX-DR-005-P04; received 2 June 2026
- Street Scenes – 2520.04.A Rev A; received 2 June 2026
- Addendum to Arboricultural Assessment (Enzygo Environmental Consultants) - SHF.9048.001.ENZ.XX.00.RP.AR.45.101; received 2 June 2026
- Dust Management Plan; received 2 June 2026
- Biodiversity Net Gain Assessment letter (553417ab29May26FV02_BNGA_Letter) received 2 June 2026
- Design and Access Statement Rev PL03 received 2 June 2026
- BNG Metric excel received 2 June 2026
- 2520.01. Rev K Planning Layout (A) received 2 June 2026
- 2520.03.Rev F Materials Layout received 2 June 2026
- House type 1229 – 2520.1229.01 received 31 March 2026

- House type 1416.02 (stone) - 2520.1416.02 REV A received 31 March 2026
- House type 913.02 (stone) – 2520.913.02 Rev A received 31 March 2026
- HOUSE TYPE 986.02 SEMI DETACHED (STONE) - 2520.986.02 REV A received 31 March 2026
- HOUSE TYPE NT2.01 - 2520.NT2.01 received 31 March 2026
- Site location plan – 2520.02 Rev A received 4 March 2026
- Standard tree detail – DR L 0005 received 4 March 2026
- Landscape Management and Maintenance Plan – ENZYGO - SHF.9048.001.LA.R.002 received 23 February 2026
- ROAD & SEWER SECTIONS SHEET 1 OF 4 - 0101 REV P02 received 18 December 2025
- ROAD & SEWER SECTIONS SHEET 2 OF 4 - 0102 REV P02 received 18 December 2025
- ROAD & SEWER SECTIONS SHEET 3 OF 4 - 0103 REV P02 received 18 December 2025
- ROAD & SEWER SECTIONS SHEET 1 OF 4 - 0104 REV P02 received 18 December 2025
- Vehicle Tracking Layout ATR1 Rev PO4 received 18 December 2026
- Planning Drawings - Types 857 & 775 Stone – floor plans - 2520.857775.01 received 29 October 2025
- Planning Drawings – Types 857 and 775 Elevations - 2520.857775.02 received 29 October 2025
- Planning Drawings – Type BU1 Stone – Elevations and floor plans - 2520.BU1.01 received 29 October 2026
- Revised elevation and floor plans type 1057C (brick) detached - 2520.1057C.01
- Revised elevation and floor plans type 1057C (stone) detached – 2520.1057C.02
- Revised elevation and floor plans type 1116 (brick) detached – 2520.1116.01
- Revised elevation and floor plans type 1116 (stone) detached – 2520 1116.02
- Revised elevation and floor plans type 1194 (brick) detached – 2520 1194.01
- Revised elevation and floor plans type 1194 (stone) detached – 2520 1194.02
- Revised elevation and floor plans type 1416 (brick) detached – 2520 1416.01
- Revised elevation and floor plans type 775 (brick) – 2520 775.01
- Revised elevation and floor plans type 775 (stone) – 2520 775.02
- Revised elevation and floor plans type 802 (brick) 2520 802.01
- Revised elevation and floor plans type 802 (stone) 2520 802.02
- Revised elevation and floor plans type 857 (brick) – 2520.857.01
- Revised elevation and floor plans type 857 (stone) – 2520.857.02
- Revised elevation and floor plans type 913 (brick) – 2520.913.01
- Revised elevation and floor plans type 986 (brick) semi-detached – 2520 986.01
- Revised elevation and floor plans type 986 (stone) semi-detached – 2520.986.02
- Revised elevation and floor plans type 986 (brick) detached – 2520.986.03
- Elevations and floor plans single garage – 2520.G.01
- Elevations and floor plans twin garage – 2520.G.02 all received 24 July 2025.

2. A condition will be imposed removing PD rights for garden boundary treatments to plots 1-4, 19, 23, 34, 48 and 49, in the interests of maintaining an acceptable appearance.

3. A condition will be imposed removing PD rights for new boundary treatments forward of principle elevations. This is to ensure that the development does not appear cramped, but remains an open appearance, given the constraints of the site layout. A condition will be imposed for details of the pumping station, including elevations and compound fencing to be submitted and approved prior to occupation, in the interests of maintaining an acceptable appearance.
4. A condition will be included to remove Class A and B PD rights for plots 1 – 4 and 49, preventing any new openings on the southern elevation, including within the roof space. To maintain privacy levels for properties on Mansfield Road and to ensure that there is no potential for overlooking.
5. A condition will be included to require details of the final route and treatment to public footpath No4, including the route through the site, and how it adjoins the new footpath to the north. Details must include, along with a timetable for implementation; the proposed surface materials, kerb/edge treatments and details of structures required for connections (gate, speed barriers etc), and provision of lighting.
6. Prior to commencement of development, and subject to agreement with the landowner of Blacksmith's Close, full details of the pedestrian and cycle link between the site and Blacksmith's Close shall be submitted and approved. Details must include, along with a timetable for implementation; the proposed surface materials; kerb/edge treatments; details of structures required for the connections (speed barriers etc); provision of lighting.
7. Prior to any development above foundation levels, the roofing and facing materials shall be submitted and approved by the Local Planning Authority.
8. The on-plot cycle stores shall be provided on site prior to the occupation of each respective plot.
9. Landscaping delivery, protection and management.
10. Conditions relating to the CEMP and LBEMP and any wildlife protection and habitat creation conditions recommended by Derbyshire Wildlife Trust.

Statement of Decision Process

Officers have worked positively and pro-actively with the applicant to address issues raised during the consideration of the application. The proposal has been considered against the policies and guidelines adopted by the Council and the decision has been taken in accordance with the guidelines of the Framework.

The decision contains several pre-commencement conditions which are so fundamental to the development permitted that:

- *it would have been otherwise necessary to refuse the whole permission; or*
- *are necessary to address issues that require information to show that the development will or can be made safe, or*

- *address other impacts which need to be assessed to make the development acceptable to minimise and mitigate adverse impacts from the development.*

Equalities Statement

Section 149 of the Equality Act 2010 places a statutory duty on public authorities in the exercise of their functions to have due regard to the need to eliminate discrimination and advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it (i.e., “the Public Sector Equality Duty”).

In this case, there is no evidence to suggest that the development proposals would have any direct or indirect negative impacts on any person with a protected characteristic or any group of people with a shared protected characteristic.

Human Rights Statement

The specific Articles of the European Commission on Human Rights (“the ECHR”) relevant to planning include Article 6 (Right to a fair and public trial within a reasonable time), Article 8 (Right to respect for private and family life, home and correspondence), Article 14 (Prohibition of discrimination) and Article 1 of Protocol 1 (Right to peaceful enjoyment of possessions and protection of property).

It is considered that assessing the effects that a proposal will have on individuals and weighing these against the wider public interest in determining whether development should be allowed to proceed is an inherent part of the decision-making process. In carrying out this ‘balancing exercise’ in the above report, officers are satisfied that the potential for these proposals to affect any individual’s (or any group of individuals’) human rights has been addressed proportionately and in accordance with the requirements of the ECHR.